



## OGDEN VALLEY PLANNING COMMISSION

### PLANNING REGULAR & WORK SESSION AGENDA

**January 03, 2017**

**5:00 p.m.**

*Pledge of Allegiance*

*Roll Call:*

1. Petitions, Applications and Public Hearings
  - 1.1. Administrative Items
    - a. New Business
      1. CUP 2016-20 Consideration and action on a conditional use permit application for a public utility substation (250,000 gallon water storage tank) for Liberty Pipeline Company located at 7970 North Durfee Way in the Forest 5 (F-5) Zone. (Liberty Pipeline Company c/o Pen Hollist, Director; Applicant; Mike Durtschi, Project Engineer, Agent)
  - 1.2. Legislative Items
    - a. New Business
      1. ZTA 2016-07 Public hearing to consider a request to amend the side yard setbacks in the Ogden Valley Destination and Recreation Resort Zone Chapter §104-29 in the Uniform Land Use Code of Weber County Utah. (Summit Mountain Holding Group, L.L.C., Applicant; Jeff Werbelow, Summit Mountain Holding Group, Agent)
    - b. Old Business
      1. ZTA 2016-06: Public Hearing to discuss and take public comment on a proposal to amend the following sections of Weber County Code: Definitions (§101-1-7), Ogden Valley Lighting (§108-16), and Ogden Valley Signs (§110-2) to provide clearer standards for outdoor light and outdoor lighting devices in the Ogden Valley in order to support dark sky-viewing, astrotourism, the Dark Sky accreditation of North Fork Park, and the Ogden Valley General Plan.
2. Elections: Chair and Vice Chair for 2017
3. Meeting Schedule: Approval of the 2017 Meeting Schedule
4. Public Comment for Items not on the Agenda
5. Remarks from Planning Commissioners
6. Report of the Planning Director

*The regular meeting will be held in the Weber County Commission Chambers, in the Weber Center, 1<sup>st</sup> Floor, 2380 Washington Blvd., Ogden, Utah. A Pre-meeting will be held at 4:30 p.m. in the Breakout Room, no decision will be made in this meeting.*

Please enter the building through the front door on Washington Blvd. if arriving to the meeting after 5:00 p.m.

*In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Division at 801-399-8791*



## Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

### Synopsis

#### Application Information

**Application Request:** Consideration and action on a conditional use permit application for a public utility substation (water storage tank) for Liberty Pipeline Company.

**Type of Decision:** Administrative

**Agenda Date:** Tuesday, January 03, 2017

**Applicant:** Liberty Pipeline Company c/o Pen Hollist, Director

**Authorized Agent:** Mike Durtschi, project engineer (Gardner Engineering)

**File Number:** CUP# 2016-20

#### Property Information

**Approximate Address:** 6970 N. Durfee Way, Liberty, UT

**Project Area:** 0.95 acres

**Zoning:** Forest Zone (F-5)

**Existing Land Use:** Water Storage Tank

**Proposed Land Use:** Water Storage Tank and Distribution Line

**Parcel ID:** 17-135-0002

**Township, Range, Section:** Township 8 North, Range 1 West, Section 36

#### Adjacent Land Use

|               |        |               |                    |
|---------------|--------|---------------|--------------------|
| <b>North:</b> | Forest | <b>South:</b> | Forest Residential |
| <b>East:</b>  | Forest | <b>West:</b>  | Forest             |

#### Staff Information

**Report Presenter:** Steve Burton  
sburton@co.weber.ut.us  
801-399-8766

**Report Reviewer:** RK

### Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 9 Forest Zones (F-5)
- Title 108, Chapter 1 Design Review
- Title 108, Chapter 4 Conditional Uses
- Title 108, Chapter 10 Public Buildings and Public Utility Substations and Structures

### Summary and Background

Liberty Pipeline Company is requesting approval of a conditional use permit to construct a 250,000 gallon water storage tank and install approximately 1,100 linear feet of distribution piping. These improvements will provide emergency storage to the entire system and will increase Liberty Pipeline Company's upper area storage and flow capacity needed to meet State requirements for fire events. The proposed tank will be located approximately 60 feet from an existing 90,000 gallon tank. The proposed tank's diameter is 53 feet and the tank depth is 16 feet. The tank will be buried with 6 inches of top soil placed on top of the tank. The property lies in the Forest 5 Zone (F-5) which allows "Water pumping plants and reservoirs" as well as "Public utility substations and transmission lines" only when authorized by a conditional use permit.

The project area is located within "Common Area A" of Durfee Creek Estates No. 1. A proposed easement of approximately 4.2 acres will surround the project area of 0.95 acres. Liberty Pipeline Company will need to secure this easement from the property owner.

Conditional use permits should be approved as long as any harmful impact is mitigated. The Uniform Land Use Code of Weber County, Utah (LUC) already specifies certain standards necessary for mitigation of harmful impact to which the proposal must adhere. The proposed application appears to meet these standards. The following is staff's evaluation of the request.



## Analysis

**General Plan:** The Ogden Valley General Plan identifies the need for additional culinary water and new water infrastructure based on projected growth. (see the 2016 Ogden Valley General Plan Chapter 7: Utilities and Public Services). The proposed use conforms to the Ogden Valley General Plan by providing additional water sources to meet the demands of the Valley's existing water systems throughout developing areas.

**Zoning:** The subject property is located within the F-5 Zone which is categorized as a "Forest Zone". The intent of the forest zones can be further described per LUC §104-9-1 as follows:

- a. The intent of the forest zones is to protect and preserve the natural environment of those areas of the county that are characterized by mountainous, forest or naturalistic land, and to permit development compatible to the preservation of these areas.*
- b. The objectives in establishing the forest zones are:*
  - 1. To promote the use of the land for forest, fish and wildlife and to facilitate the conservation of the natural resources, vegetation and attractions;*
  - 2. To reduce the hazards of flood and fire;*
  - 3. To prevent sanitation and pollution problems and protect the watershed;*
  - 4. To provide areas for private and public recreation and recreation resorts; and*
  - 5. To provide areas for homes, summer homes, and summer camp sites.*

The F-5 Zone has specific standards identified in the LUC §104-9-4 that shall be met as part of the development process. The applicable standards are as follows:

- Minimum yard setbacks:
  - Front: 30'
  - Side: 20'
  - Rear: 30'
- Minimum lot area: 5 acres
- Minimum lot width: 300'
- Main Building height:
  - Maximum: 35'
  - Accessory building height:
    - Maximum: 25', unless meeting requirements of LUC §108-7-16, Large accessory buildings

The proposed use is conditionally allowed in the F-5 zone and has been reviewed as a "Water pumping plants and reservoirs" as well as "Public utility substations and transmission lines". The location and arrangement of public utility substations and structures must be in accordance with construction plans submitted to and approved by the planning commission. The minimum lot area for all public utility substations per LUC §108-10-2 is waived and the rear yard requirements may be reduced in the Forest Zones to 20' per LUC §108-10-3.

**Conditional Use Review:** A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. The property is currently owned by the Durfee Creek Estates Home and Owners Association. A draft of the necessary easements has been provided to the Planning Division; however, a final signed copy of all easements and/or lease agreement for the access, location and affiliated construction for the proposed tank will need to be provided to the Planning Division prior to the issuance of the conditional use permit.

A notice of intent has been filed with the State of Utah Water Resources Control Board by the Owner so that the project may be covered under the state general permit. Prior to commencing work, Liberty Pipeline Company will need to receive approval from the applicable agencies for the new tank. A condition has been made part of the Planning Division's recommendations to ensure that this standard is met.

**Design Review:** The forest zone and the proposed conditional use, mandate a design review as outlined in LUC §108-1 to ensure that the general design, layout and appearance of the building remains orderly and harmonious with the surrounding neighborhood. Certain areas of the design review are only applicable due to the nature of the request. As part of this review, the Planning Commission shall consider the applicable matters based on the proposed conditional use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

- *Considerations relating to traffic safety and traffic congestion.* As part of this consideration, the applicant has provided detailed a site plan (see Exhibit B). The proposal is not considered large scale construction; therefore

considerable traffic congestion or delay is not anticipated. Per the County Engineering Division, the contractor will be responsible to guarantee site materials are not tracked onto the County roadways. A condition of approval has been added to the Planning Division's recommendation to ensure the contractor cleans all equipment prior to exiting the site and sweeps the County roadway as needed, removing any material tracked from the site onto the asphalt, in order to provide safe vehicular traffic along County roads.

- *Considerations relating to landscaping.* The applicant has outlined the following considerations to landscaping in the SWPPP: 1. Exposed stockpiles of soils, construction, and landscaping material will be covered with heavy plastic sheathing; 2. In landscaping areas where the vegetation has not established growth and taken hold, sandbag or dirt berms will be constructed around their perimeter to ensure that water will be contained inside the landscaping area and that it will not be conveyed to a storm drain inlet; 3. Areas where landscaping has died or not taken hold will be re-vegetated; 4. Storm water runoff will be diverted around disturbed soils with berms or dirt swales.
- *Considerations relating to buildings and site layout.* The proposed water tank will not require a new pump house or other new buildings. The buried water tank has a diameter of 53 feet and a depth of 16 feet.
- *Considerations relating to utility easements, drainage, and other engineering questions.* The applicant will need to adhere to all conditions of the Engineering Division including but not limited to storm water and surface water drainage, retention facilities, and site clean-up of the property. A condition has been made part of the Planning Division's recommendations to ensure that this standard is met.
- *Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval.* The proposed site does not have any type of development agreement associated with the property; therefore considerations pertaining to this portion of the code are not applicable at this time.

**Review Agencies:** Prior to the commencement of work, the applicant will need to receive the approval from all applicable agencies for the water system improvements. A condition has been made part of the Planning Division's recommendations to ensure that all conditions of the review agencies will be met.

## Summary of Planning Commission Considerations

In order for a conditional use to be approved it must meet the requirements of applicable ordinances listed in this staff report, which include the requirements listed in LUC §108-4-4, under "Criteria for Issuance of Conditional Use Permit", which states:

*a) A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to substantially mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the standards of this chapter, or relevant standards or requirements of any other chapter of this Land Use Code. When considering any of the standards, the land use authority shall consider the reasonably anticipated detrimental effects of the proposed use in the context of current conditions and, to the extent supported by law, the policy recommendations of the applicable general plan.*

*b) If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.*

The Planning Commission will need to determine if the request for a water storage tank and distribution line has met the requirements of the applicable Uniform Land Use Code of Weber County. The Planning Commission may impose additional conditions in order to ensure full compliance with the required standards. In making a decision, the Planning Commission should consider the following questions:

- Does the submittal meet the Uniform Land Use Code of Weber County? If no, then what conditions could be added in order to comply?
- Have the "Decision Requirements" and other applicable ordinances been met?

## Staff Recommendation



The Planning Division recommends approval of file# CUP 2016-20, a conditional use permit for Liberty Pipeline Company's water storage tank to be located at approximately 6970 N. Durfee Way, Liberty, UT. This recommendation for approval is subject to all review agency requirements and with the following conditions:

1. Prior to the issuance of the conditional use permit, a final signed copy of all easements and/or lease agreement for the access, location and affiliated construction for the proposed water storage tank will need to be provided to the Planning Division.
2. Prior to commencing work, Liberty Pipeline Company will need to receive the approval from the applicable agencies for the new water storage tank and distribution line, including all permits outlined in the Engineering Division's review.
3. All equipment leaving the site will be cleaned prior to entering the County right-of-way and the contractor will be responsible for sweeping the County roadway, as needed, removing any material tracked from the site onto the asphalt, in order to provide safe vehicular traffic along the County right-of-way.

This recommendation is based on the following findings:

1. The proposed use conforms to the Ogden Valley General Plan.
2. The proposed use will provide the needed water sources to meet the demands the Ogden Valley.
3. The proposed use, if conditions are imposed, will not be detrimental to public health, safety, or welfare.
4. The proposed use, if conditions are imposed, will comply with applicable County ordinances.
5. The proposed use will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

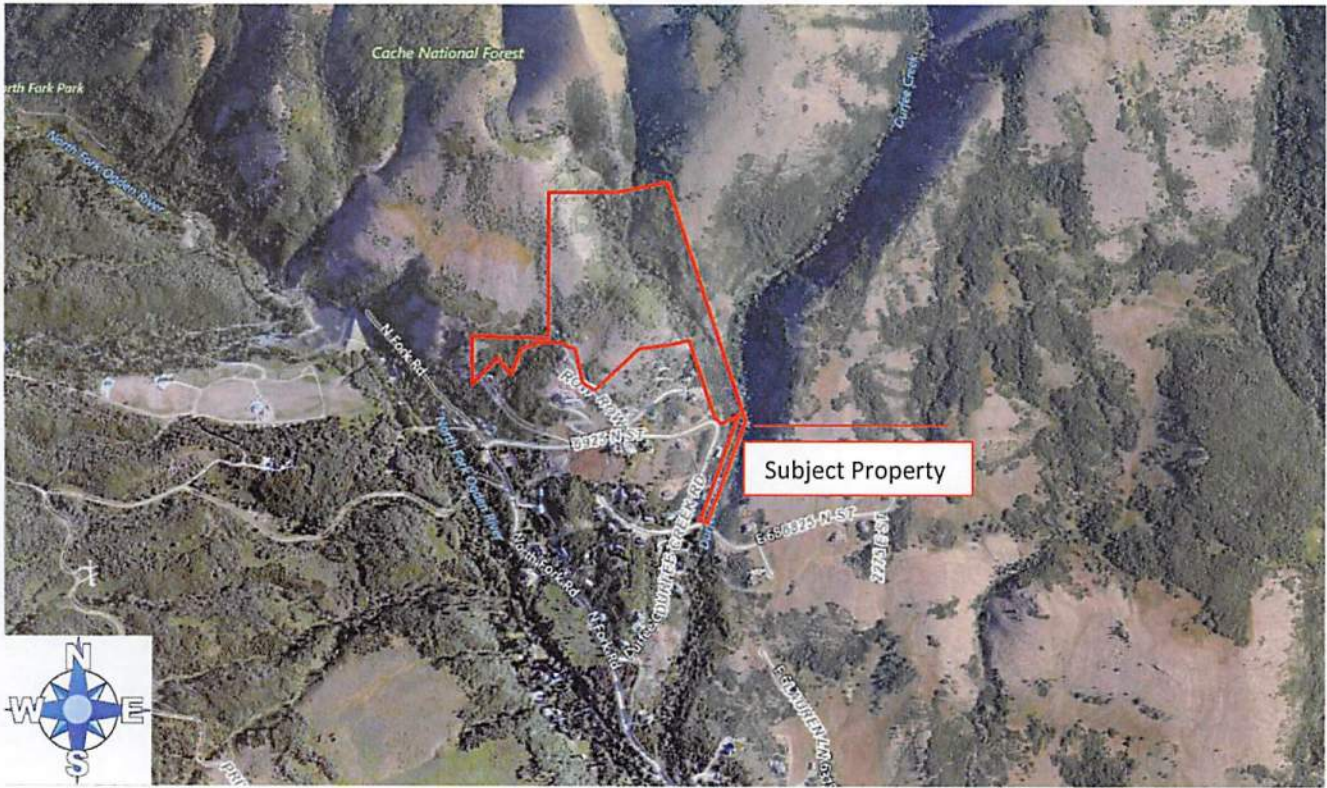
## Exhibits

- A. Application
- B. Site and Building Plan

### Map 1



## Map 2







Weber County

Weber County Planning Division  
 www.co.weber.ut.us/planning  
 2380 Washington Blvd., Suite 240  
 Ogden, Utah 84401-1473  
 Voice: (801) 399-8791  
 Fax: (801) 399-8862

## Conditional Use Permit Application

A conditional use application is required for conditional uses listed in the Weber County Land Use Code. This Conditional Use application identifies submittal requirements and processes for each desired conditional use.

### Title 108 Chapter 4 Conditional Use Permit

A Conditional Use Permit shall be required for all uses listed as Conditional Uses in the zoning regulation in the Land Use Code.

The applicant of a conditional use proposal shall be the recorded owner(s) or an authorized agent. The applicant must demonstrate that the contemplated use is compatible with the Land Use Code standards and that the use would be essential or desirable to the public convenience or welfare in that area, that it will not impair the integrity and character of the surrounding property, or that the use can be made compatible by imposing conditions. These conditions may include, but are not limited to, the size, shape, location and topography of the site, the hours and days of operation, how to minimize environmental impacts such as noise and air pollution, location of vehicle access points, outdoor lighting, landscaping standards, fencing, water and wildlife protection, etc.

A pre-application meeting is required prior to application submittal; please call (801) 399-8791 to make an appointment. Date of pre-application review meeting: 4/11/16 Time: 1:30

- Staff member assigned to process application: Ronda K.

APPLICATION DEADLINE: Thirty (30) days prior to the applicable Planning Commission meeting

The Western Weber County Township Planning Commission holds their meetings on the 2<sup>nd</sup> Tuesday of the month.

The Ogden Valley Township Planning Commission holds their meetings on the 4<sup>th</sup> Tuesday of the month.

### Application Submittal Checklist

The Planning Division will only accept complete applications with supporting documents as outlined below. Submitting an application does not guarantee that this application will be placed on the next Planning Commission agenda.

The following is required as part of the application form submittal:

- ☐ Complete Application Form
- ☐ A non-refundable fee made payable to Weber County (See *Fee Schedule*)
- ☐ Obtain signature of the owner(s) on the application and any authorized representatives
- ☐ All documents submitted in the application shall be accompanied by a PDF file of the respective document. All plans (including but not limited to site plans, architectural elevations/renderings, etc), and subsequent submittals and revisions, shall be accompanied by a full scale set of PDF files of the respective plans.





## Weber County

Weber County Planning Division  
www.co.weber.ut.us/planning  
2380 Washington Blvd., Suite 240  
Ogden, Utah 84401-1473  
Voice: (801) 399-8791  
Fax: (801) 399-8862

- ☐ A site plan showing details and other requirements as outlined in the Weber County Zoning Ordinance Chapter 22C (Conditional Uses) Chapter 36 (Design Review), Chapter 24 (Parking and Loading Spaces), Chapter 25 (Motor Vehicle Access) Chapter 18C (Architectural, Landscape and Screening Design Standards).
- ☐ Written information demonstrating how the proposed conditional use permit meets the criteria found in 22C-5 and other review criteria (see *Review Criteria*).

### Fee Schedule

Property Zoning F5 Fee Required \$225

- Conditional Use Permit (Less than 5,000 sq. ft.) in any Forest, Shoreline, Agricultural, Residential, Mobile Home Park, Gravel, Commercial, or Manufacturing Zone \$225
- Conditional Use Permit (5,000 sq. ft. or greater) in any Forest, Shoreline, Agricultural, Residential, Mobile Home Park, Gravel, Commercial, or Manufacturing Zone \$225 + \$15 per 1,000 sq. ft.
- Conditional Use Permit for Planned Residential Unit Development (P.R.U.D.) \$500
- Conditional Use Permit for Home Occupation \$85
- Conditional Use Amendments \$125

### Purpose and Intent of Conditional Uses

The purpose and intent of Conditional Uses is to provide for additional review of uses to ensure compatible integration with the surrounding area.

### Review Criteria

The Planning Commission shall approve, approve with conditions, or deny an application for a conditional use based on findings of fact with respect to each of the following criteria found in the Weber County Zoning Ordinance 22C-5-1-5 as follows:

#### 22C-5. Basis for Issuance of Conditional Use Permit

The Planning Commission shall not authorize a Conditional Use Permit unless evidence is presented to establish:

1. That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community, and
2. That such use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complimentary to the existing surrounding uses, buildings and structures when considering traffic generation, parking, building design and location, landscaping and signs, and
3. That the proposed use will comply with the regulations and conditions specified in this Ordinance for such use, and
4. That the proposed use conforms to the goals, policies and governing principles and land use of the General Plan for Weber County



## Weber County

Weber County Planning Division  
www.co.weber.ut.us/planning  
2380 Washington Blvd., Suite 240  
Ogden, Utah 84401-1473  
Voice: (801) 399-8791  
Fax: (801) 399-8862

5. That the proposed use will not lead to the deterioration of the environment or ecology of the general area, nor will produce conditions or emit pollutants of such a type or of such a quantity so as to detrimentally effect, to any appreciable degree, public and private properties including the operation of existing uses thereon, in the immediate vicinity of the community or area as a whole.

### Appeal Process

The decision of the Planning Commission may be appealed to the County Commission by filing such appeal within 15 days after the date of the decision of the Planning Commission.

The County Commission may uphold or reverse the decision of the Planning Commission and impose any additional conditions that it may deem necessary in granting an appeal. The decision of the County Commission shall be final.

### For Your Information

Other Weber County Zoning Ordinance chapter requirements may apply to this Conditional Use as determined in the pre-application meeting.

Unless there is substantial action under a Conditional Use permit within a maximum period of one (1) year of its issuance, the Conditional Use Permit shall expire. The Planning Commission may grant a maximum extension of six (6) months under exceptional circumstances. Upon expiration of any extension of time granted by the Planning Commission, or failure to complete all conditions and requirements of the Conditional Use Permit within an eighteen (18) month period of time, the approval for the Conditional Use Permit shall expire and become null and void.

When an approved Conditional Use has been discontinued and/or abandoned for a period of one (1) year, the Conditional Use Permit becomes null and void. In order to restore the Conditional Use, a new application shall be filed for review and consideration by the Planning Commission.

This application can be filled out online at the following Planning Division web site: [www.co.weber.ut.us/planning](http://www.co.weber.ut.us/planning). Copies of the applicable Weber County Zoning Ordinances and other helpful information are also available at this web site.

# Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

|                            |                   |                             |                          |
|----------------------------|-------------------|-----------------------------|--------------------------|
| Date Submitted / Completed | Fees (Office Use) | Receipt Number (Office Use) | File Number (Office Use) |
|----------------------------|-------------------|-----------------------------|--------------------------|

## Property Owner Contact Information

|   |     |  |
|---|-----|--|
| Name of Property Owner(s)<br>Liberty Pipeline Company c/o Pen Hollist, Director |     | Mailing Address of Property Owner(s)<br>3707 N 3500 E<br>Liberty, Utah 84310   |
| Phone<br>(801) 745-3936   | Fax |  |
| Email Address<br>Pen_Hollist@hotmail.com  |     | Preferred Method of Written Correspondence<br><input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail |

## Authorized Representative Contact Information

|  |     |  |
|--|-----|--|
| Name of Person Authorized to Represent the Property Owner(s)<br>Gardner Engineering, Mike Durtschi |     | Mailing Address of Authorized Person<br>S150 S 375 E<br>Ogden, UT 8440S  |
| Phone<br>801.476.0202  | Fax |  |
| Email Address<br>mlked@gecivil.com   |     | Preferred Method of Written Correspondence<br><input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail |

## Property Information

|  |                                      |                       |
|--|--------------------------------------|-----------------------|
| Project Name<br>Upper System Tank                          | Total Acreage<br>0.95                | Current Zoning<br>F-5 |
| Approximate Address<br>6790 N. Durfee Way<br>Liberty, Utah | Land Serial Number(s)<br>17-135-0002 |                       |

|  |
|--|
| Proposed Use<br>Water Storage Tank and Distribution Line |
|--|

|  |
|--|
| <p><b>Project Narrative</b></p> <p>Liberty Pipeline Company (LPC) is proposing to construct a 250,000 gallon buried water tank and install approximately 1,100 linear feet of distribution piping. These improvements will increase LPC upper area storage and flow capacity needed to meet State requirements for fire events. The project will also provide emergency storage to the entire system.</p> <p>Submitted with this application are the Construction Plans, and construction documents, including a Geotechnical Investigation Report for the proposed project.</p> <p>The engineering consultant, in consultation with County Planner, Ronda Kippen, determined that the proposed location for the water tank is in the Zm unit, which is considered not geologically hazardous. It was similarly determined that the proposed tank location is not on an identified ridge line.</p> |
|--|



### **Basis for Issuance of Conditional Use Permit**

That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well being of the community:

The proposed location is necessary to provide adequate pressure to the systems connections to ensure proper fire flows capacity to the homes not currently meeting State Rules.

That such use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complimentary to the existing surrounding uses, buildings and structures when considering traffic generation, parking, building design and location, landscaping and signs:

Construction of the project will follow county guidelines mitigating any harm to the community. Use of the facility will only generate Infrequent and minimal maintenance traffic. As such no appreciable safety issues are foreseen.

That the proposed use will comply with the regulations and conditions specified in this Ordinance for such use:

Land Use Ordinance Sec.104-9-3(14) Water pumping plants and reservoirs.

That the proposed use conforms to the goals, policies and governing principles and land use of the General Plan for Weber County:

The project conforms to the goals, policies and governing principles and land use of the General Plan for Weber County.

That the proposed use will not lead to the deterioration of the environment or ecology of the general area, nor will produce conditions or emit pollutants of such a type or of such a quantity so as to detrimentally effect, to any appreciable degree, public and private properties including the operation of existing uses thereon, in the immediate vicinity of the community or area as a whole:

SWPP Plan and BMP's will be implemented on site during construction. It is anticipated that no appreciable environmental impact will be experienced during construction of the project. It is anticipated that no appreciable environmental impact will result from the completed and operational project.

### Property Owner Affidavit

I (We), Pen Hollist, LPC Director, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

*Pen Hollist*  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this 7 day of Nov, 20 16.



**JUDY SHUPE**  
NOTARY PUBLIC • STATE of UTAH  
COMMISSION NO. 684035  
COMM. EXP. 07/28/2019

*Judy Shupe*  
(Notary)

### Authorized Representative Affidavit

I (We), Pen Hollist, LPC Director, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), Mike Durtsch, Gardner Engineering, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

*Pen Hollist*  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

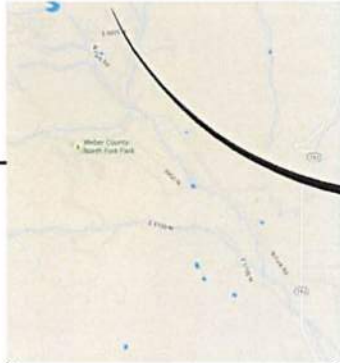
Dated this 7 day of Nov, 20 16, personally appeared before me \_\_\_\_\_, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.



**JUDY SHUPE**  
NOTARY PUBLIC • STATE of UTAH  
COMMISSION NO. 684035  
COMM. EXP. 07/28/2019

*Judy Shupe*  
(Notary)





PROJECT LOCATION



**PRESIDENT**  
LIBERTY PIPELINE COMPANY  
MIKE RHODES  
3707 N 3500 N  
LIBERTY, UT 84310

**PROJECT ENGINEER**  
DAN WHITE, P.E.  
GARDNER ENGINEERING  
5150 S 375 E  
OGDEN, UT, 84405  
(801) 476-0202  
DAN@GECIVIL.COM

**SHEET INDEX**

|                |  |
|----------------|--|
| SHEET C0       | COVER                                  |
| SHEET C1       | VICINITY MAP                           |
| SHEET C2       | PRV - VICINITY MAP                     |
| SHEET C3       | SITE PLAN                              |
| SHEET C4       | PIPE PLAN AND PROFILE 1                |
| SHEET C5       | PIPE PLAN AND PROFILE 2                |
| SHEET C6       | PIPE PLAN AND PROFILE 3                |
| SHEET C7       | EXCAVATION PLAN                        |
| SHEET C8       | GRADING PLAN                           |
| SHEET C9       | UTABA PRV AND EMERSON HILLS CONNECTION |
| SHEETS D1-D4   | STANDARD DETAILS                       |
| SHEET D5       | PRV DETAIL                             |
| SHEETS SW1-SW4 | SWPPP                                  |
| SHEETS S1-S4   | STRUCTURAL DRAWINGS                    |

# UPPER SYSTEM TANK LIBERTY PIPELINE COMPANY

2016  
CONSTRUCTION DOCUMENTS  
LIBERTY, WEBER, UTAH

**GENERAL NOTES**

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE ENGINEER, PLANNING, CODES AND SO REGULATIONS AND APPLICABLE COUNTY, STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE THE PROPOSED CONSTRUCTION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT COVERED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY INSPECTOR AT ALL TIMES.
11. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

**TRAFFIC CONTROL & SAFETY NOTES**

1. BARRICADES AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT CITY STANDARD DRAWING, AND SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN ON CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

**UTILITY DISCLAIMER**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSURED INCLUDED IN THE CONTRACT.

**NOTICE TO CONTRACTOR**

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

**GENERAL GRADING NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATION FOR PUBLIC WORKS AND THE COMPANY STANDARDS. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES. FINISHED GRADE AT FOUNDATION FOR WOOD FRAMED STRUCTURES SHALL BE 6 INCHES BELOW TOP OF FOUNDATION AND DRAINAGE SHALL BE A MINIMUM OF 2% WITHIN 10 FEET FROM THE BUILDING.
2. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET THE COUNTY STANDARDS.
4. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
5. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
6. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE COUNTY INSPECTOR FOR INSPECTION.
7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THE GRADING PLAN CONTAINED HEREIN AND SHALL BE COMPLIED WITH.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. COUNTY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
12. PRIOR TO TAKING WATER FROM A FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE WATER UTILITY TO OBTAIN A WATER METER.

**CULINARY WATER GENERAL NOTES**

1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO LIBERTY PIPELINE COMPANY STANDARDS, SPECIFICATIONS AND PLANS.
2. THRUST BLOCKING AND MECHANICAL RESTRAINTS ARE REQUIRED AT ALL BENDS AND FITTINGS.
3. ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18 INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, CARE SHALL BE TAKEN TO ENSURE THERE ARE NO JOINTS IN EITHER PIPE WITHIN 25' OF THE POINT AT WHICH THE PIPES CROSS EACH OTHER, EITHER THROUGH INSTALLING THE PIPES IN CASINGS OR BY PLACEMENT OF JOINTS.
4. DISINFECTION TESTS SHALL BE PERFORMED BY THE WATER UTILITY WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING AT NO COST TO THE COUNTY.
5. CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION IN ACCORDANCE WITH APWA STANDARD C811-14. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER UTILITY AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
6. MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
7. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE APWA C900 PVC DR 18.
8. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM THE WATER UTILITY.
9. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
10. THE WATER UTILITY REQUIRES THE USE OF CORROSION RESISTANT MATERIALS FOR ALL CULINARY WATER IMPROVEMENTS SPECIFICALLY, TRIPLEX BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS. FURTHER, ALL METAL FITTINGS SHALL BE POLY WRAPPED.

**SWPPP GENERAL NOTES**

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE COUNTY AND STATE.
2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AS SHOWN ON THE SWPPP PLAN, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

**STORM SEWER GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:  
A. OBTAIN ALL REQUIRED PERMITS FROM THE CITY OR REGULATORY AGENCIES, INCLUDING PERMITS TO WORK IN THE RIGHT-OF-WAY, BURESTORATION OF EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, SOIL, LANDSCAPING, PAVEMENT, SPRINKLER SYSTEM.  
C. VERIFICATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.  
D. PROVIDING AS-BUILT DRAWINGS TO THE CITY AND THE ENGINEER.  
E. OBTAINING PERMITTING, DEVELOPMENT, LOCATION, CONNECTION AND INSPECTION AND SCHEDULING FOR SUCH.
2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH COUNTY STANDARDS AND SPECIFICATIONS.
3. RM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, CIRCUIT, AND STEEL BOLTS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
4. CONNECTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER AND THE CITY PRIOR TO FINAL ACCEPTANCE.
5. ALL STORM DRAIN PIPES IN THE CITY RIGHT-OF-WAY SHALL BE RCP CL 18.
6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.



VICINITY MAP  
 UPPER SYSTEM TANK  
 6970 N DURFEE WAY  
 PART OF SECTION 36,  
 TOWNSHIP 8 N, RANGE 1 W,  
 SALT LAKE BASE AND MERIDIAN  
 LIBERTY, WEBER, UTAH

COMMON AREA "A"  
 DURFEE CREEK ESTATES  
 H.O.A.  
 171350002

CURRENTLY ZONED F-5  
 PROPERTY 55.23 ACRES  
 AFFECTED AREA = 0.95  
 ACRES



Scale in Feet  
 1" = 250'

EXISTING EASEMENT  
 SEE DEDICATED PLAT,  
 DURFEE CREEK  
 ESTATES NO. 1 MAY, 1979  
 EXISTING ACCESS ROAD (10' - 12' WIDE)  
 PROPOSED ACCESS ROAD (10' WIDE)  
 EXISTING TANK (90K GAL)  
 PROPOSED TANK (250K GAL)

IMPROVEMENT  
 BOUNDARY  
 AREA = 0.95 ACRE

NEW EASEMENT

ZONE F-5  
 ZONE FV-3

PLJB PROPERTIES  
 170920018

NANCY ROBERTS  
 170920022

ZONE FV-3  
 ZONE F-5

RHM  
 MANAGEMENT INC  
 170920031

NEW 10" TRANSMISSION  
 LINE

CLYDE BROWN  
 171380005

GW FINANCE CO.  
 LLC  
 171380006

CLYDE BROWN  
 171380004

ERIC LONGMIRE  
 171380003

KENNETH BECK  
 171380002

DAVID KARCHNER  
 171380001

KENNETH  
 DEUTSCHLANDER  
 171380008



| Revisions | Date            | Description |
|-----------|-----------------|-------------|
|           | 11/4/2016       | Date        |
|           | Scale 1" = 250' | Scale       |
|           | Designed DLW    | Designed    |
|           | Drafted MDD     | Drafted     |
|           | Checked DLW     | Checked     |



TANK + WATER LINE VICINITY MAP CUP  
 UPPER SYSTEM TANK  
 LIBERTY PIPELINE COMPANY  
 LIBERTY, WEBER, UTAH



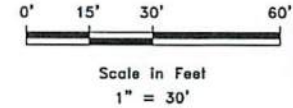
C1

|  |   |    |
|--|---|----|
|  <b>GARDNER<br/>ENGINEERING</b><br>CIVIL, LAND PLANNING<br>MUNICIPAL, LAND SURVEYING<br>5150 SOUTH 1400 WEST, SUITE 100<br>SALT LAKE CITY, UT 84119<br>OFFICE: (801) 478-0202 FAX: (801) 478-0056 | C2  | 23 |
|  | VICINITY MAP - PPV/S<br>UPPER SYSTEM TANK<br>LIBERTY PIPELINE COMPANY<br>LIBERTY, WEBER, UTAH |    |
|   | Date: 11/4/2016<br>Scale: 1" = 500'<br>Designed: D.L.W.<br>Drawn: MCD<br>Checked: D.L.W.      |    |
|  | Revisions<br>Date Description   |    |



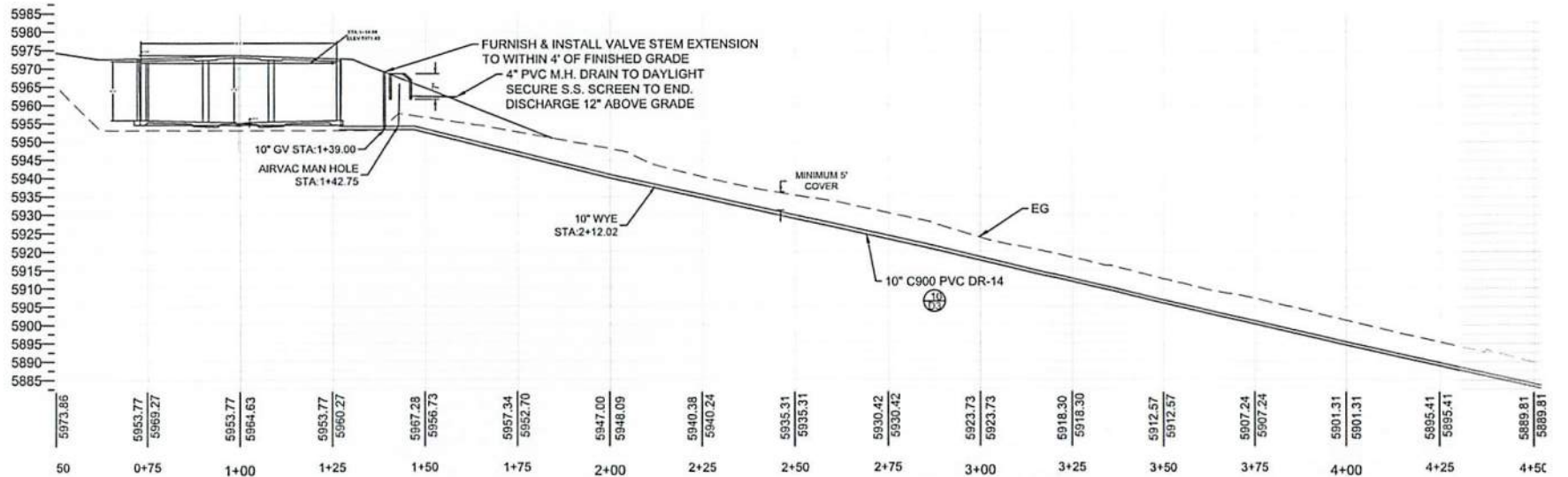
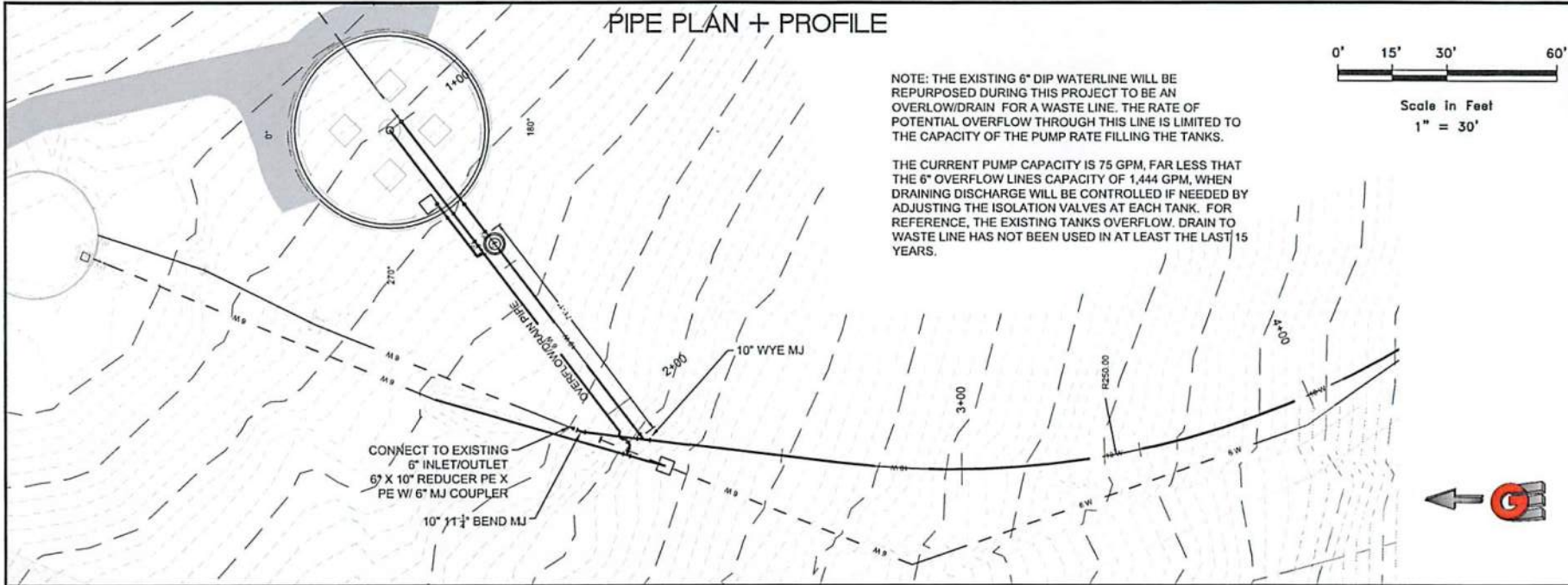


# PIPE PLAN + PROFILE



NOTE: THE EXISTING 6" DIP WATERLINE WILL BE REPURPOSED DURING THIS PROJECT TO BE AN OVERFLOW/DRAIN FOR A WASTE LINE. THE RATE OF POTENTIAL OVERFLOW THROUGH THIS LINE IS LIMITED TO THE CAPACITY OF THE PUMP RATE FILLING THE TANKS.

THE CURRENT PUMP CAPACITY IS 75 GPM, FAR LESS THAT THE 6" OVERFLOW LINES CAPACITY OF 1,444 GPM, WHEN DRAINING DISCHARGE WILL BE CONTROLLED IF NEEDED BY ADJUSTING THE ISOLATION VALVES AT EACH TANK. FOR REFERENCE, THE EXISTING TANKS OVERFLOW, DRAIN TO WASTE LINE HAS NOT BEEN USED IN AT LEAST THE LAST 15 YEARS.



|                |  |                |  |              |  |             |  |             |  |
|----------------|--|----------------|--|--------------|--|-------------|--|-------------|--|
| Date 11/4/2016 |  | Scale 1" = 30' |  | Designed DLW |  | Drafted MDD |  | Checked DLW |  |
| Revisions      |  | Description    |  | Date         |  |             |  |             |  |
|                |  |                |  |              |  |             |  |             |  |

SEAL OF THE STATE OF UTAH  
 No. 354312  
 Daniel Leon White  
 STATE OF UTAH

|                          |  |
|--------------------------|--|
| PIPE PLAN + PROFILE      |  |
| UPPER SYSTEM TANK        |  |
| LIBERTY PIPELINE COMPANY |  |
| LIBERTY, WEBER, UTAH     |  |

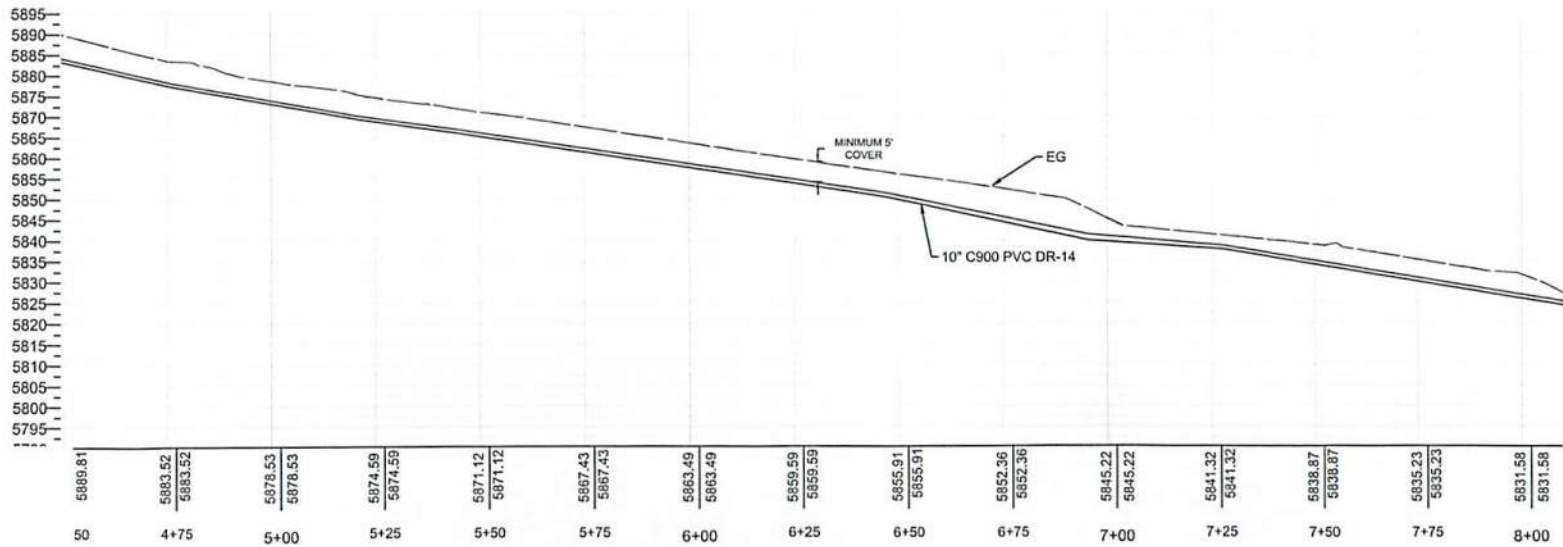
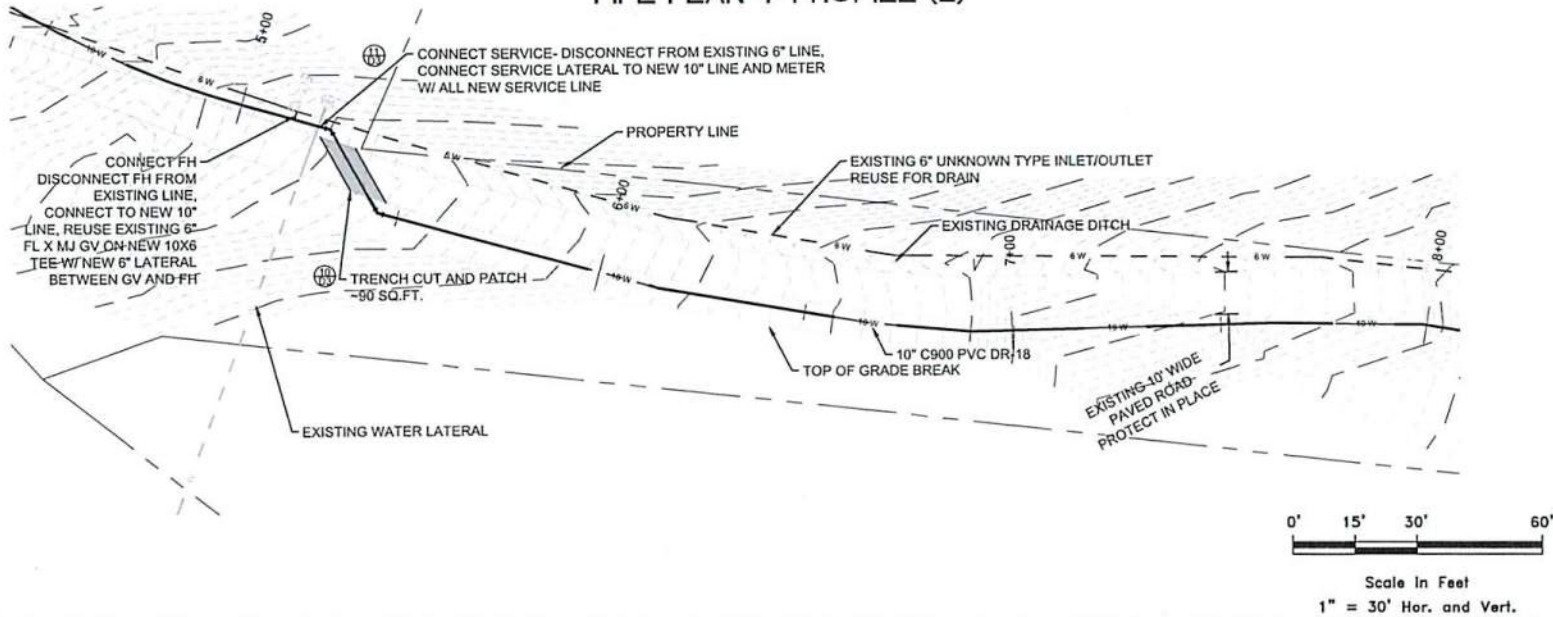
**GARDNER ENGINEERING**  
CIVIL/LAND PLANNING  
MULTI-MEDIA DESIGN  
OFFICE: 801-476-0202 FAX: 801-476-0056

C4

23

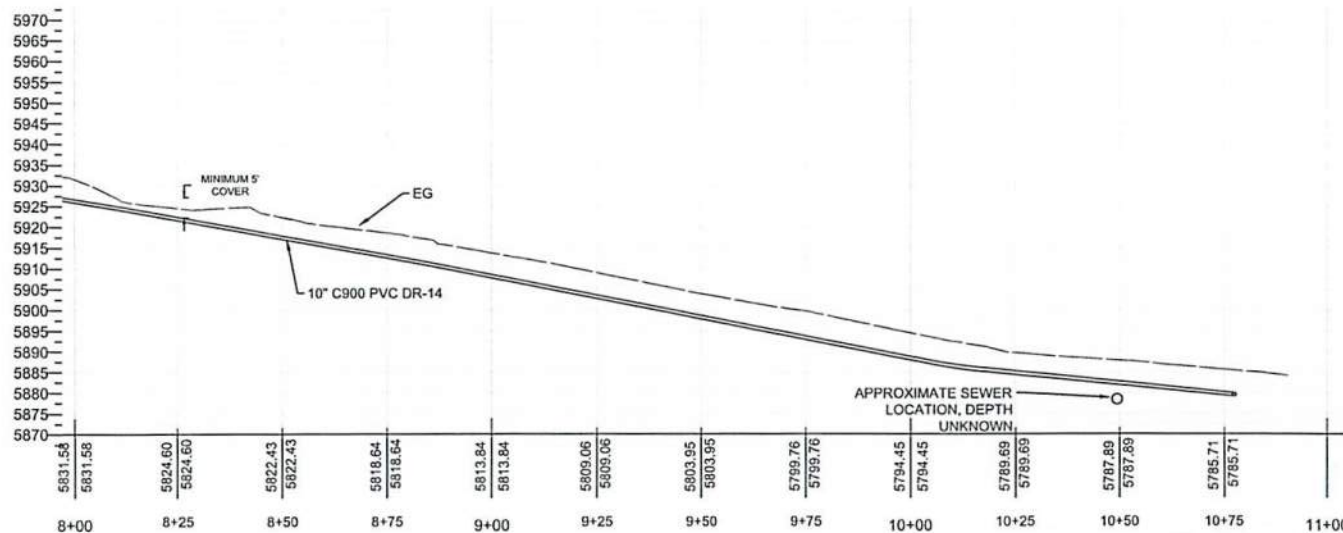
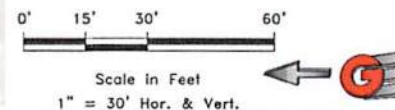
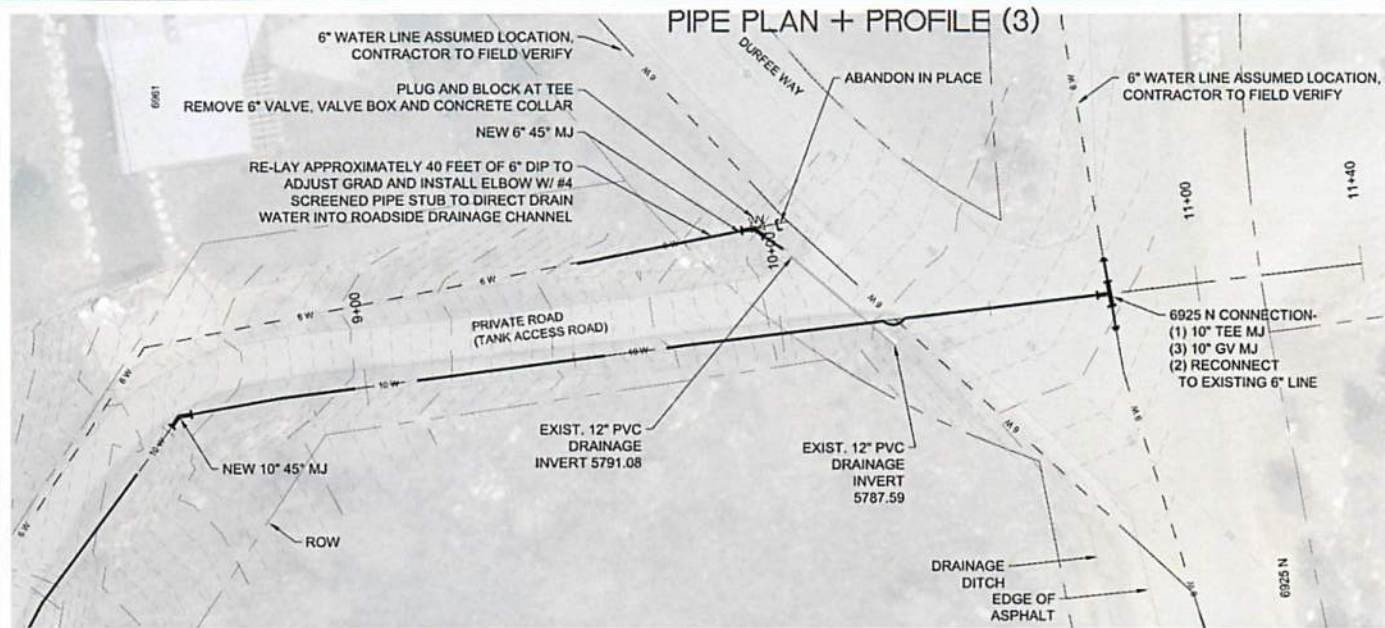


# PIPE PLAN + PROFILE (2)

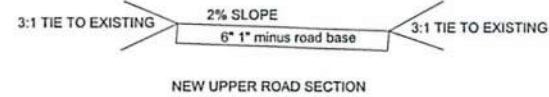
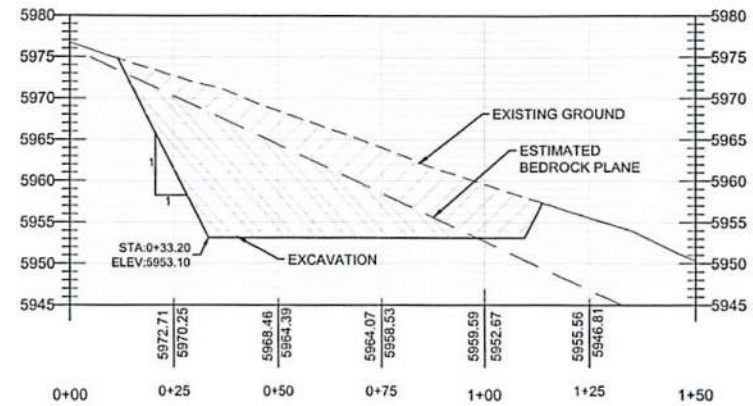
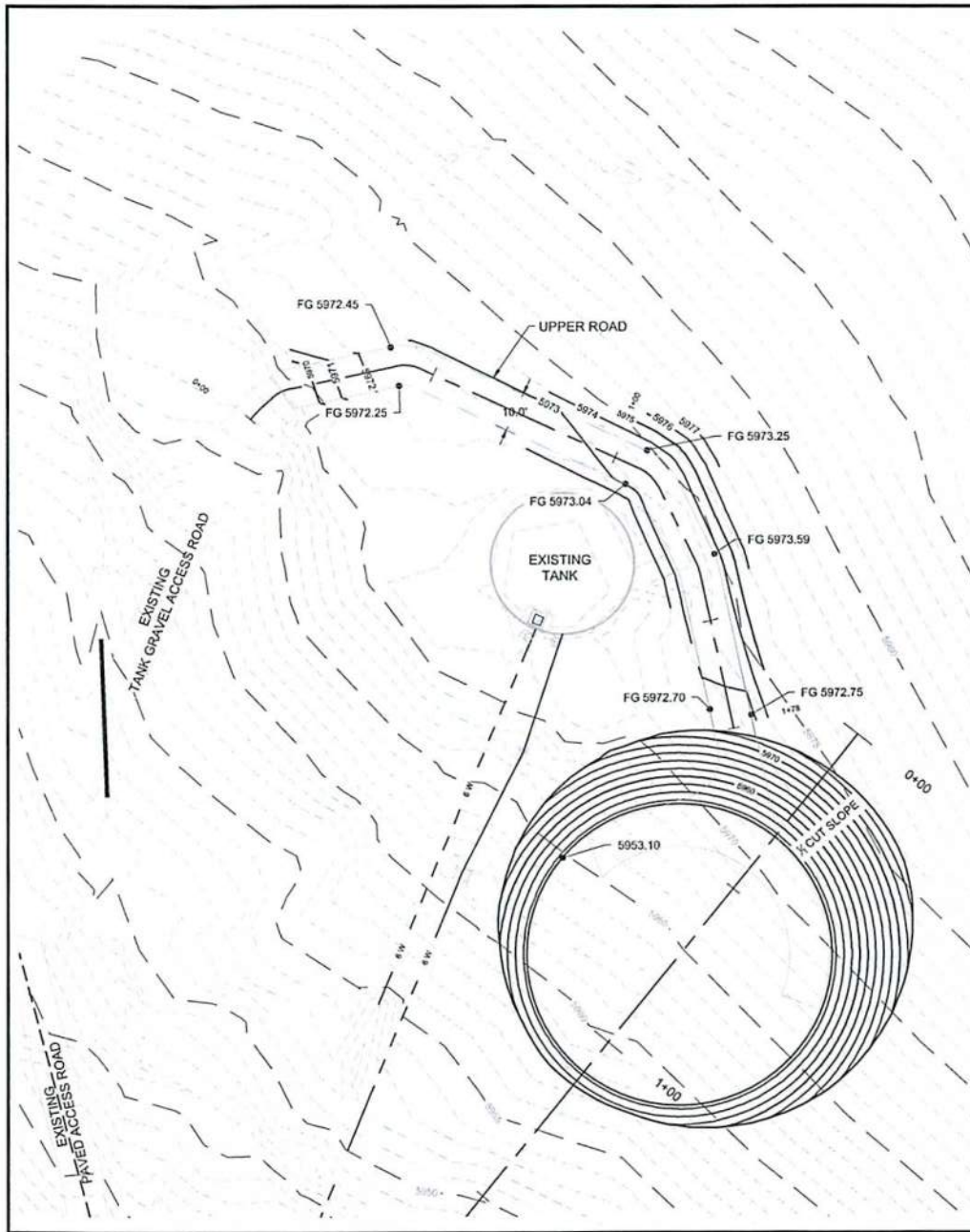


|   |  |   |
|---|--|---|
| <b>PIPE PLAN + PROFILE (2)</b><br>UPPER SYSTEM TANK<br>LIBERTY PIPELINE COMPANY<br>LIBERTY, WEBER, UTAH                             |  | Date: 11/4/2016<br>Scale: 1" = 30'<br>Designed: DLW<br>Drafted: MCD<br>Checked: DLW |
| <b>GARDNER ENGINEERING</b><br>CIVIL • LAND PLANNING<br>MUNICIPAL LAND PLANNING<br>5150 SOUTH 500 WEST, SUITE 100<br>OGDEN, UT 84403 |  | Revision<br>Date<br>Description   |
| C5  |  | 23  |



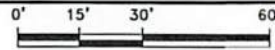


|   |  |   |
|---|--|---|
| <b>PIPE PLAN + PROFILE (3)</b><br>UPPER SYSTEM TANK<br>LIBERTY PIPELINE COMPANY<br>LIBERTY, WEBER, UTAH |  | Date: 11/4/2016<br>Scale: 1" = 30'<br>Designed: DLW<br>Drafted: MDO<br>Checked: DLW |
|   |  |   |
|   |  |   |
| C6  |  | 23  |



VOLUME OF ANTICIPATED BEDROCK REMOVAL : 1700 CU YD  
 VOLUME OF ANTICIPATED SOIL/ROCK REMOVAL: 1400 CU YD  
 VOLUME OF ANTICIPATED SOIL/ROCK REMOVAL FOR UPPER ROAD : 50 CU YD

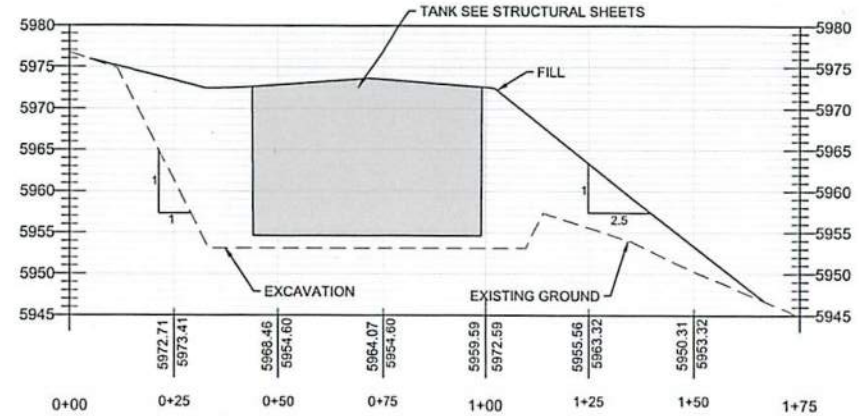
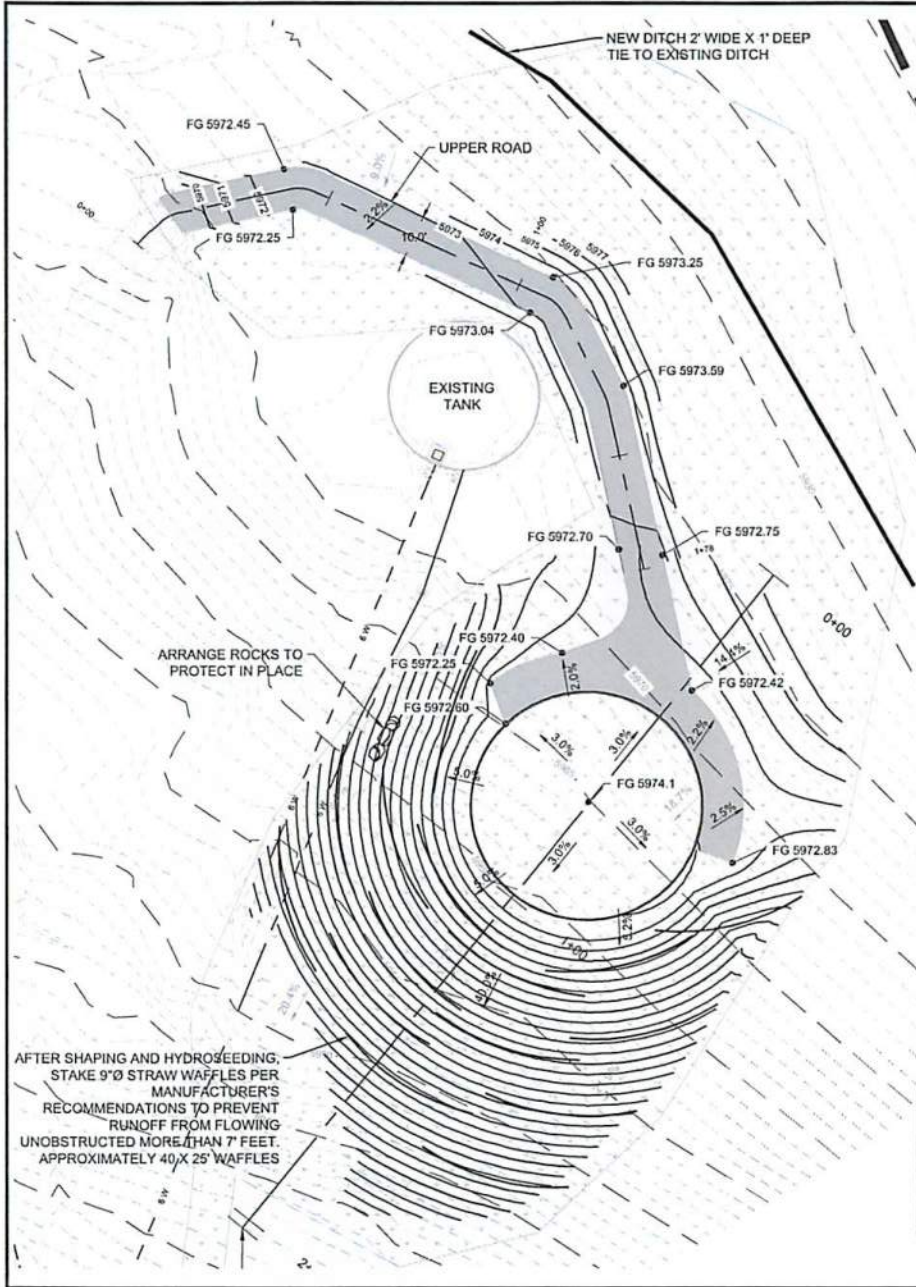
AVERAGE EXISTING SLOPE= 18% IN IMPROVEMENT BOUNDARY



Scale in Feet  
 1" = 30'  
 PROFILE SCALE 1 HOR. = 2 VERT.

|                          |             |  |              |
|--------------------------|-------------|--|--------------|
| Date: 11/14/2016         |             | Scale: 1" = 30'  |              |
| Revisions                |             | Designed: DLW  |              |
| Date                     | Description | Drilled: MDD   | Checked: DLW |
|                          |             |  |              |
| EXCAVATION PLAN          |             |  |              |
| UPPER SYSTEM TANK        |             |  |              |
| LIBERTY PIPELINE COMPANY |             |  |              |
| LIBERTY, WEBER, UTAH     |             |  |              |
|                          |             | <b>GARDNER ENGINEERING</b><br>CIVIL ENGINEERING<br>MUNICIPAL LAND SURVEYING<br>5150 SOUTH 325 EAST OGDEN, UT<br>OFFICE: 801-476-0202 FAX: 801-476-0066 |              |
| C7                       |             | 23   |              |





CONCRETE MUST CURE AT LEAST 7 DAYS AND THE 7-DAY BREAKS OF SAMPLED CONCRETE MUST BE ON TRAJECTORY TO REACH FULL DESIGN STRENGTH AND PASS LEAK TEST BEFORE BACKFILLING NEXT TO TANK BEGINS. PROVIDE ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION

SEE EXCAVATION PLAN FOR ANTICIPATED EXCAVATION VOLUMES  
ANTICIPATED FILL VOLUMES, SEE DETAIL 1/D1:

UNDER SLAB STRUCTURAL FILL (REFER TO GEOTECH REPORT) - VARIES 12" MIN: 300 TONS  
UNDER SLAB ROAD BASE FILL - 6" ROAD BASE: 120 TONS  
WITHIN 2" OF TANK WALLS - 2" MINUS IMPORT OR SCREENED NATIVE: 265 TONS

REPLACEMENT OF EXCAVATED MATERIALS - PER PLANS AND TYPICAL SECTION ON THIS SHEET: 3100 CUBIC YARDS

NOTE: SITE RESTORATION BID ITEM:

CUT AND FILL SLOPES: TOP DRESS WITH 3" OF SANDY LOAM TOP SOIL ON 4" OF 2" MINUS WELL GRADED MATERIAL.

THE COURSE OF 2" MINUS MATERIAL IS INTENDED TO FILL VOIDS AND PREVENT THE TOPSOIL LAYER FROM FILTERING INTO THE LARGER VOIDS BELOW. THE CONTRACTOR SHALL SCREEN AND STOCKPILE OR IMPORT MATERIALS AS NEEDED OR OTHER PROCEDURES AND METHODS AT NO ADDITIONAL COST TO THE OWNER, TO ENSURE THAT THE TOPSOIL IS AVAILABLE ON THE SURFACE OF THE FILL TO ACT AS A SEEDBED FOR THE HYDRO SEED.

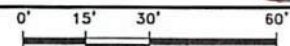
IMPORT 3" OF TOP SOIL, HYDROSEED WITH 2000#/AC WOOD MULCH, 100#/AC MBINDER TACKIFIER, SEEDING TO TAKE PLACE IN OCTOBER 1 - NOVEMBER 15

BREAK UP COMPACTED SURFACES USED FOR STAGING OR OTHER AREAS DISTURBED DURING CONSTRUCTION AND HYDROSEED

DRYLAND SEED MIX  
ANTICIPATED AREA = 0.75 ACRES

| Species  | PLS Pounds per Acre |
|--|---------------------|
| Streambank wheatgrass ( <i>Elymus lanceolatus</i> ssp. <i>psammophilus</i> ) | 10                  |
| Mountain brome ( <i>Bromus marginatus</i> )                                  | 20                  |
| Western wheatgrass ( <i>Pascopyrum smithii</i> )                             | 10                  |
| Sheep fescue ( <i>Festuca ovina</i> )  | 2.5                 |
| Lewis blue flax ( <i>Linum lewisii</i> )                                     | 2.5                 |
| Total  | 45                  |

AVERAGE EXISTING SLOPE = 18% IN IMPROVEMENT BOUNDARY



Scale in Feet  
1" = 30'

PROFILE SCALE 1 HOR. = 2 VERT.

|          |           |
|----------|-----------|
| Date     | 11/4/2016 |
| Scale    | 1" = 30'  |
| Designed | DLW       |
| Drafted  | MOD       |
| Checked  | DLW       |

| Revisions | Date | Description |
|-----------|------|-------------|
|           |      |             |

GRADING PLAN  
UPPER SYSTEM TANK  
LIBERTY PIPELINE COMPANY  
LIBERTY, WEBER, UTAH

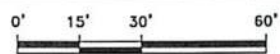
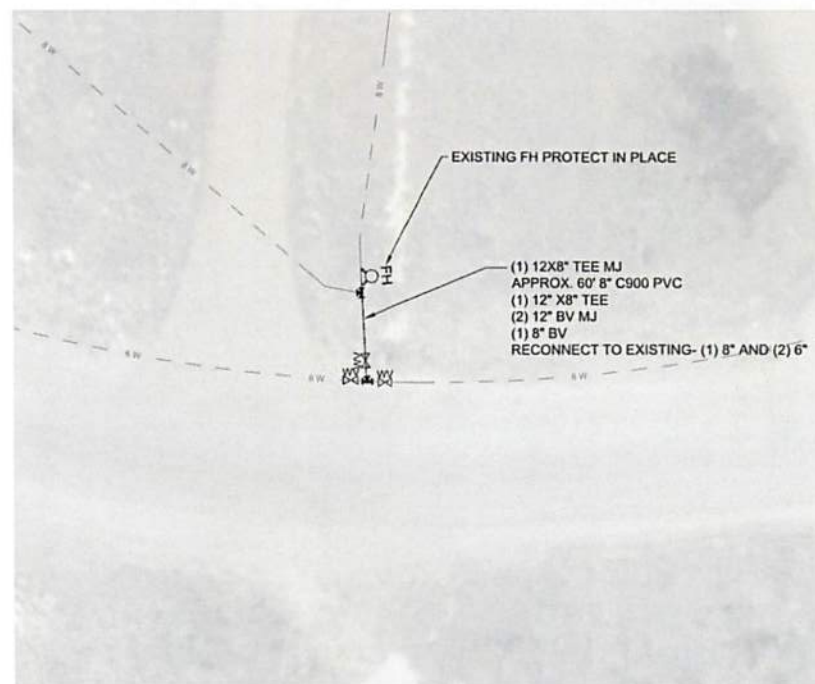
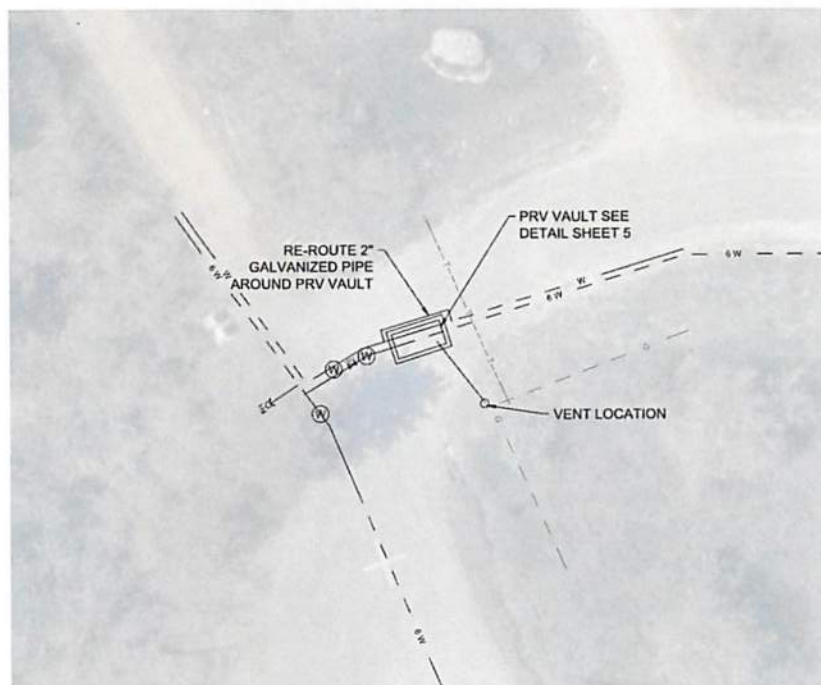
  

**GARDNER ENGINEERING**  
CIVIL AND LAND SURVEYING  
5150 SOUTH 8725 EAST OGDEN, UT  
OFFICE: 801-476-0202 FAX: 801-476-0056

C8  
23





Scale In Feet  
1" = 30'

| Revisions |             | Date     | 11/4/2016 |
|-----------|-------------|----------|-----------|
| Date      | Description | Scale    | 1" = 30'  |
|           |             | Designed | DLW       |
|           |             | Drafted  | MDD       |
|           |             | Checked  | DLW       |

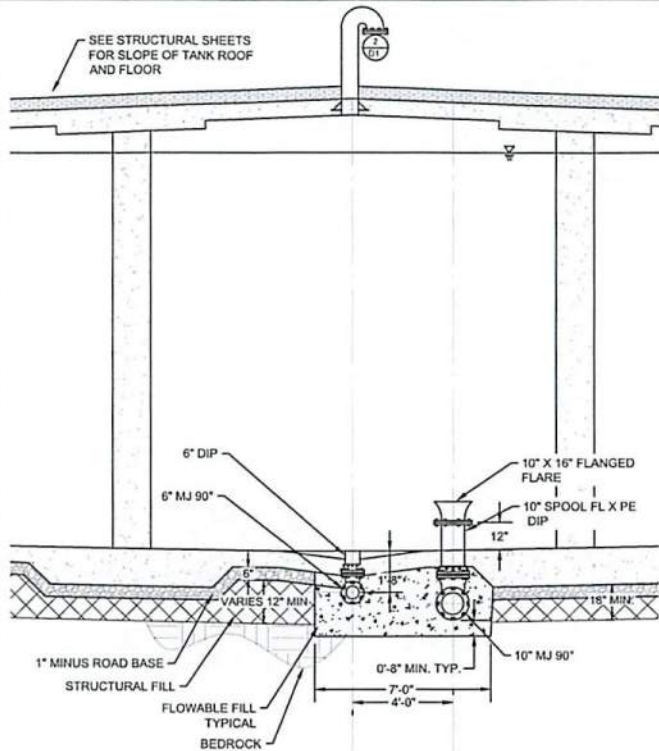


UTABA PRV + EMERSON CONIN.  
UPPER SYSTEM TANK  
LIBERTY PIPELINE COMPANY  
LIBERTY, WEBER, UTAH



C9

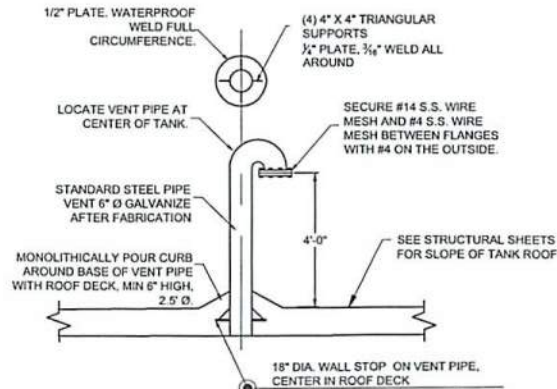
23



INLET/ OUTLET & DRAIN LINE SECTION VIEW

NOT TO SCALE

1  
D1

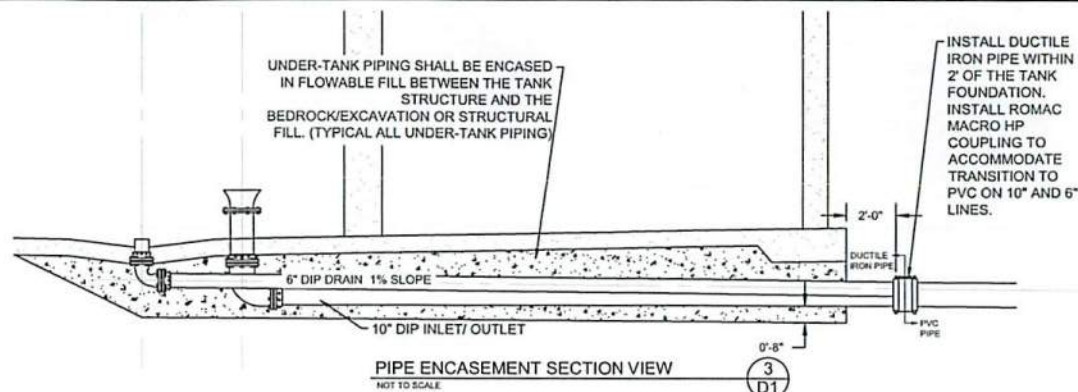


TANK VENT

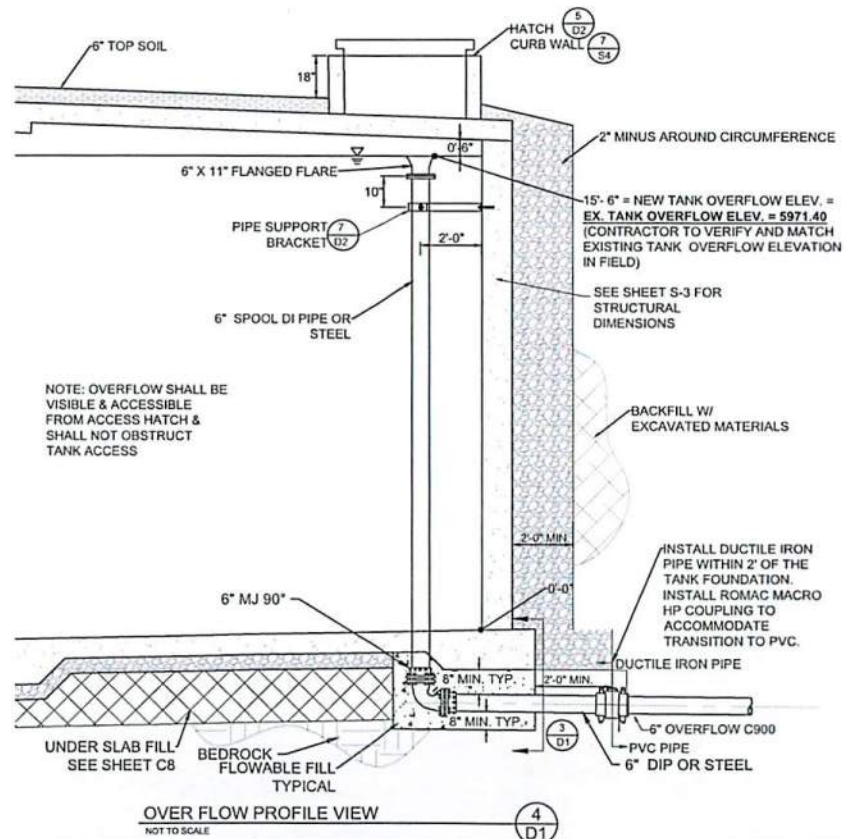
NOT TO SCALE

2  
D1

NOTE: ALL PIPING SHALL BE DUCTILE IRON OR STEEL WITHIN 2' OF TANK. ALL PIPING AND FITTINGS IN CONTACT WITH CONCRETE SHALL HAVE PROTECTIVE COATING OR POLY WRAP.



3  
D1



4  
D1

| Revisions | Date      | Description | Scale | Designed | Drafted | Checked |
|-----------|-----------|-------------|-------|----------|---------|---------|
|           | 11/4/2016 |             |       | D.L.W    | MOD     | D.L.W   |

|                          |
|--------------------------|
| TANK DETAILS             |
| UPPER SYSTEM TANK        |
| LIBERTY PIPELINE COMPANY |
| LIBERTY, WEBER, UTAH     |

**GARDNER ENGINEERING**

CIVIL ENGINEERING  
SURVEYING  
MUNICIPAL - LAND SURVEYING

5150 SOUTH 375 EAST OGDEN, UT  
OFFICE: 801-476-0202 FAX: 801-476-0056





NOTE:  
OVERLAP GEOTEXTILE A MINIMUM OF 24 INCHES AT ALL SEAMS  
EXTEND DRAIN PIPE 2' OUTSIDE OF FOOTING

|    |    |
|----|----|
| D2 | 23 |
|----|----|



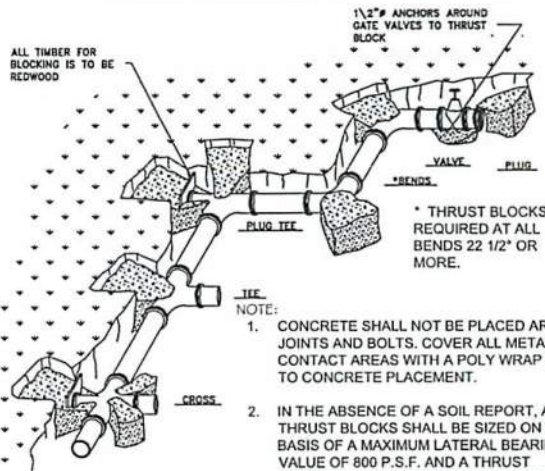


TABLE OF BEARING AREAS IN SQ. FT FOR CONCRETE THRUST BLOCKING

| SIZE | BENDS |      |         |         | TEES* | GATE VALVES | DEAD ENDS | CROSSW/BRANCH PLUGGED | CROSSW/2 BRANCH PLUGGED |
|------|-------|------|---------|---------|-------|-------------|-----------|-----------------------|-------------------------|
|      | 90°   | 45°  | 22 1/2° | 11 1/2° |       |             |           |                       |                         |
| 3    | 1.0   | 0.0  | 0.3     | 0       | 0.7   | 0.5         | 0.7       | 0.7                   | 0.7                     |
| 4    | 1.8   | 1.0  | 0.5     | 0       | 1.3   | 0.5         | 1.3       | 1.3                   | 1.3                     |
| 6    | 4.0   | 2.2  | 1.1     | 0       | 2.8   | 0.7         | 2.8       | 2.8                   | 2.8                     |
| 8    | 7.1   | 3.8  | 2.0     | 1.0     | 5.0   | 2.4         | 5.0       | 5.0                   | 5.0                     |
| 10   | 11.1  | 6.0  | 3.0     | 1.5     | 7.8   | 4.5         | 7.8       | 7.8                   | 7.8                     |
| 12   | 16.0  | 8.8  | 4.4     | 2.2     | 11.3  | 7.3         | 11.3      | 11.3                  | 11.3                    |
| 14   | 21.7  | 11.8 | 6.0     | 3.0     | 15.4  | 11.0        | 15.4      | 15.4                  | 15.4                    |
| 15   | 25.0  | 13.5 | 7.0     | 3.5     | 17.6  |             | 17.6      | 17.6                  |                         |
| 16   | 28.4  | 15.3 | 8.0     | 4.0     | 20.0  |             | 20.0      | 20.0                  |                         |
| 18   | 36.0  | 19.4 | 10.0    | 5.0     | 25.4  |             | 25.4      | 25.4                  |                         |
| 20   | 44.2  | 24.0 | 12.2    | 6.1     | 31.4  |             | 31.4      | 31.4                  |                         |
| 21   | 49.0  | 26.5 | 13.5    | 6.8     | 34.6  |             | 34.6      | 34.6                  |                         |
| 22   | 54.0  | 29.0 | 14.8    | 7.4     | 38.0  |             | 38.0      | 38.0                  |                         |
| 24   | 64.0  | 34.5 | 17.7    | 8.8     | 45.0  |             | 45.0      | 45.0                  |                         |
| 30   | 100.0 | 54.0 | 27.6    | 13.8    | 71.0  |             | 71.0      | 71.0                  |                         |
| 36   | 144.0 | 78.0 | 40.0    | 20.0    | 102.0 |             | 102.0     | 102.0                 |                         |

\*SIZE IS BRANCH SIZE.

FOR 100 P.S.I. INTERNAL STATIC PRESSURE AND 1000 LBS. PER SQ. FT. SOIL BEARING CAPACITY.

ALL VALVES, TEES, CROSSES AND BENDS SHALL ALSO BE FITTED WITH MECHANICAL RESTRAINTS, SUCH AS MEGA LUGS OR APPROVED EQUAL.

AREAS GIVEN IN TABLE ARE BASED UPON AN INTERNAL STATIC PRESSURE OF 100 P.S.I AND A SOIL BEARING CAPACITY OF 1000 LBS PER SQ. FT. BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING THE TABULATED VALUES BY A CORRECTION FACTOR "F".

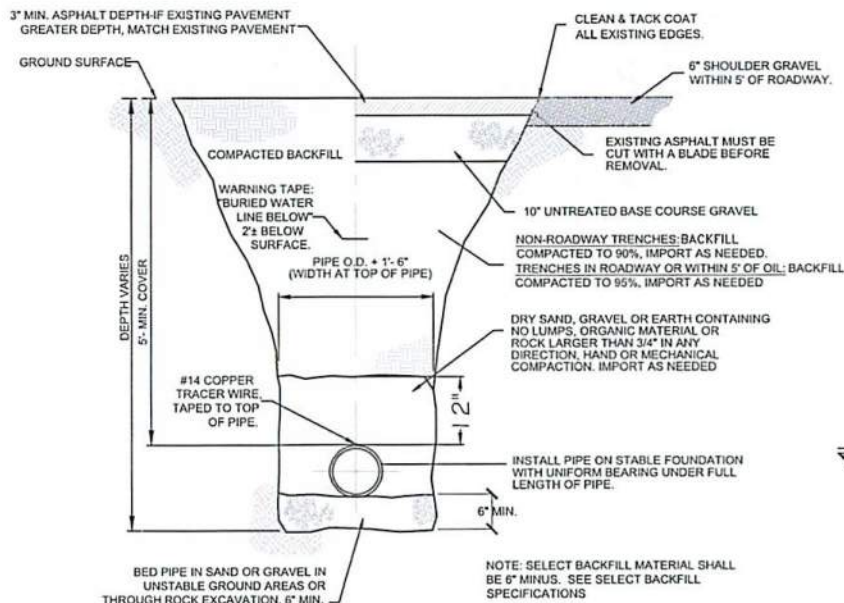
$$F = \frac{\text{ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS./SQ. IN.}}{\text{ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.}}$$

EXAMPLE: TO FIND BEARING AREA FOR 8"-90° BEND WITH A STATIC INTERNAL PRESSURE OF 1500 P.S.I AND WITH A SOIL BEARING CAPACITY OF 3000 LBS. PER SQ. FT.  
 $F = 1.5 / 3 = 0.5$  TABULATED VALUE = 7.1 SQ. FT.  
 $0.5 \times 7.1 = 3.55 \sim 4$  SQ. FT. (~OR 2FT. LONG BY 2FT. HIGH.)

THRUST BLOCKING DETAIL

NOT TO SCALE

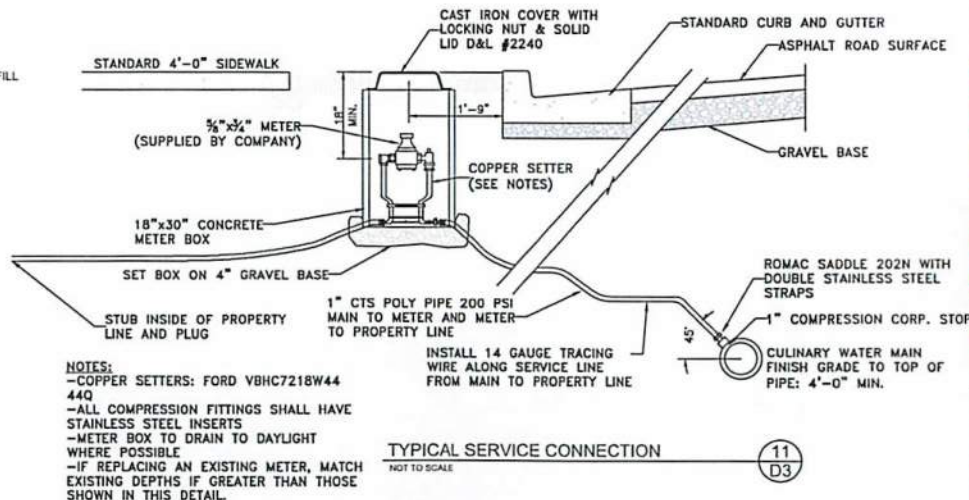
9  
D3



TYPICAL TRENCH DETAIL

NOT TO SCALE

10  
D3



TYPICAL SERVICE CONNECTION

NOT TO SCALE

11  
D3

Date 11/4/2016

Revisions

Date

DETAILS 3

UPPER SYSTEM TANK

LIBERTY PIPELINE COMPANY

LIBERTY, WEBER, UTAH

D3

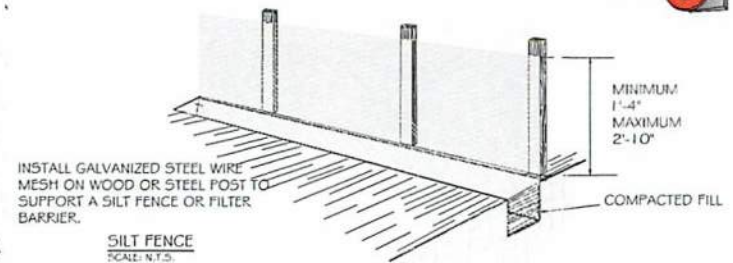
23

**GARDNER ENGINEERING**  
 CIVIL/MECHANICAL/PLUMBING  
 MUNICIPAL & LAND SURVEYING  
 5150 SOUTH 325 EAST OGDEN, UT  
 OFFICE: 801-476-0203 FAX: 801-476-0066

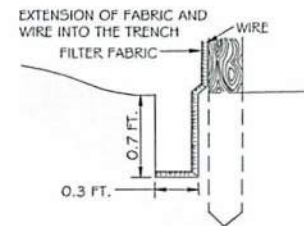




PLAN VIEW

[illegible]

SILT FENCE  
SCALE: N.T.S.



- 1-FILTER FABRIC - 3'-3" MINIMUM WIDTH
- 2-FENCE FUNCTIONS BEST IN SHEET FLOW CONDITIONS
- 3-REMOVE AND DISPOSE OF SEDIMENT WHEN ACCUMULATION REACH 50% FABRIC HEIGHT.
- 4-BACKFILL MIN 0.7 FT. THICK LAYER OF FREE DRAINING GRANULAR BACKFILL MATERIAL.

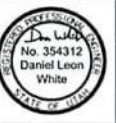
### LEGEND

SILT FENCE



Scale in Feet  
0.30000000 = 1'-0"

|           |             |          |            |
|-----------|-------------|----------|------------|
| Revisions |             | Date     | 11/4/2015  |
| Date      | Description | Scale    | 0.30000000 |
|           |             | Designed | DLW        |
|           |             | Drafted  | MDO        |
|           |             | Checked  | DLW        |



SWPPP  
UPPER SYSTEM TANK  
LIBERTY PIPELINE COMPANY  
LIBERTY, WEBER, UTAH

**GARDNER  
ENGINEERING**

CIVIL • LAND PLANNING  
MUNICIPAL • LAND SURVEYING

5150 SOUTH 325 EAST OGDEN, UT  
OFFICE: 801-476-0202 FAX: 801-476-0066

SW1  
23



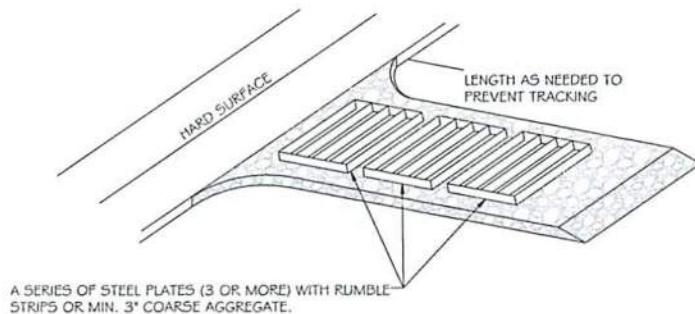
## SWPPP DETAILS UPPER SYSTEM TANK

### STREET MAINTENANCE NOTES:

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM OR NATURAL WATERWAY.

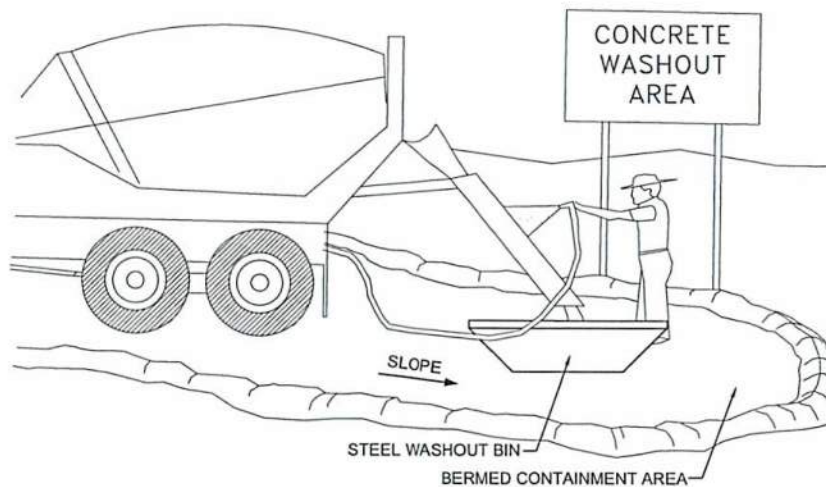
### EROSION CONTROL NOTES:

1. INSTALL SILT FENCE PRIOR TO COMMENCING ANY CONSTRUCTION



### ENTRANCE STABILIZATION NOTES:

1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
  - a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A HARD DRIVING SURFACE.
  - b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

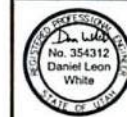


### CONCRETE WASTE MANAGEMENT NOTES:

1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

NOTE: ALL CONSTRUCTION TO CONFORM TO WEBER COUNTY STANDARDS AND SPECIFICATIONS.

|           |           |
|-----------|-----------|
| Date      | 11/4/2016 |
| Revisions |           |
| Scale     | #####     |
| Designed  | DLW       |
| Drifted   | MDO       |
| Checked   | DLW       |



|                          |
|--------------------------|
| SWPPP DETAILS            |
| UPPER SYSTEM TANK        |
| LIBERTY PIPELINE COMPANY |
| LIBERTY, WEBER, UTAH     |



SW2



# SWPPP NOTES UPPER SYSTEM TANK

## DEFINITIONS

1. "BEST MANAGEMENT PRACTICES" ("BMP'S") MEANS SCHEDULES OF ACTIVITIES, PROHIBITIONS OF PRACTICES, MAINTENANCE PROCEDURES, AND OTHER MANAGEMENT PRACTICES TO PREVENT OR REDUCE THE POLLUTION OF WATERS OF THE UNITED STATES. BMP'S ALSO INCLUDE TREATMENT REQUIREMENTS, OPERATING PROCEDURES, AND PRACTICES TO CONTROL SITE RUNOFF, SPILLAGE OR LEAKS, WASTE DISPOSAL, OR DRAINAGE FROM RAW MATERIAL STORAGE.
2. "CLEAN WATER ACT" ("CWA") MEANS THE FEDERAL WATER POLLUTION CONTROL ACT ENACTED BY PUBLIC LAW 92-500 AS AMENDED BY PUBLIC LAWS 95-217, 95-576, 96-483, AND 97-111; 33 USC 1251 ET SEQ.
3. "CONSTRUCTION SITE" IS THE LOCATION OF THE CONSTRUCTION ACTIVITY.
4. "NON-STORM WATER DISCHARGE" MEANS ANY DISCHARGE TO STORM DRAIN SYSTEMS THAT IS NOT COMPOSED ENTIRELY OF STORM WATER EXCEPT DISCHARGE PURSUANT TO AN NPDES PERMIT AND DISCHARGES RESULTING FROM FIRE FIGHTING ACTIVITIES.
5. "SIGNIFICANT MATERIAL" INCLUDES, BUT IS NOT LIMITED TO RAW MATERIALS; FUELS; MATERIALS SUCH AS SOLVENTS, DETERGENTS, AND PLASTIC PELLETS; FINISHED MATERIALS SUCH AS METALLIC PRODUCTS; RAW MATERIALS USED IN FOOD PROCESSING OR PRODUCTION OF HAZARDOUS SUBSTANCES DESIGNATED UNDER SECTION 101 (14) OF THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION, AND LIABILITY ACT (CERCLA); ANY CHEMICAL THE FACILITY IS REQUIRED TO REPORT PURSUANT TO SECTION 313 OF TITLE III OF SUPER FUND AMENDMENTS AND REAUTHORIZATION ACT (SARA); FERTILIZERS; PESTICIDES; AND WASTE PRODUCTS SUCH AS ASHES, SLAG, AND SLUDGE THAT HAVE THE POTENTIAL TO BE RELEASED WITH STORM WATER DISCHARGES.
6. "SIGNIFICANT QUANTITIES" IS THE VOLUME, CONCENTRATIONS, OR MASS OF A POLLUTANT IN STORM WATER DISCHARGE THAT CAN CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; ADVERSELY IMPACT HUMAN HEALTH OR THE ENVIRONMENT; AND CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY APPLICABLE WATER QUALITY STANDARDS FOR THE RECEIVING WATER.
7. "STORM WATER" MEANS STORM WATER RUNOFF, SNOW MELT RUNOFF, SURFACE RUNOFF AND DRAINAGE. IT EXCLUDES INFILTRATION AND RUNOFF FROM AGRICULTURAL LAND.
8. "POLLUTION" MEANS THE "MAN-MADE OR MAN-INDUCED ALTERATION OF THE CHEMICAL, PHYSICAL, BIOLOGICAL, AND RADIOLOGICAL INTEGRITY OF WATER" [CLEAN WATER ACT SECTION 502 (19)]. POLLUTION ALSO MEANS "AN ALTERATION OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH UNREASONABLY AFFECTS EITHER : THE WATERS FOR BENEFICIAL USES : OR FACILITIES WHICH SERVE THESE BENEFICIAL USES." [CALIFORNIA WATER CODE SECTION 13050 (1)].
9. "CONTAMINATION" MEANS "AN IMPAIRMENT OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH CREATES A HAZARD TO THE PUBLIC HEALTH THROUGH POISONING OR THROUGH THE SPREAD OF DISEASE : INCLUDING ANY EQUIVALENT EFFECT RESULTING FROM THE DISPOSAL OF WASTE, WHETHER OR NOT WATERS OF THE STATE ARE AFFECTED."
10. "NUISANCE" MEANS "ANYTHING WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS: (1) IS INJURIOUS TO HEALTH, OR IS INDECENT OR OFFENSIVE TO THE SENSES, OR AN OBSTRUCTION TO THE FREE USE OF PROPERTY, SO AS TO INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE AND PROPERTY; (2) AFFECTS AT THE SAME TIME AN ENTIRE COMMUNITY OR NEIGHBORHOOD, OR ANY CONSIDERABLE NUMBER OF PERSONS, ALTHOUGH THE EXTENT OF THE ANNOYANCE OR DAMAGE INFLICTED UPON INDIVIDUALS MAY BE UNEQUAL; (3) OCCURS DURING OR AS A RESULT OF THE TREATMENT OR DISPOSAL OF WASTES."
11. "LOCAL AGENCY" MEANS ANY AGENCY THAT IS INVOLVED WITH REVIEW, APPROVAL, OR OVERSIGHT OF THE CONSTRUCTION SITES: (a) CONSTRUCTION ACTIVITY, (b) EROSION AND SEDIMENT CONTROLS, (c) STORM WATER DISCHARGE.

## STORM WATER POLLUTION PREVENTION PLAN SPECIFIC NOTES

1. THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WAS DEVELOPED AT THE REQUEST OF THE OWNER, LIBERTY PIPELINE COMPANY, FOR THE CONSTRUCTION OF THE UPPER SYSTEM TANK, LOCATED IN THE COUNTY OF WEBER, STATE OF UTAH.
- THIS PLAN IDENTIFIES POTENTIAL SOURCES OF POLLUTANTS OF STORM WATER, PRESENTS POLLUTION CONTROL MEASURES, AND ASSISTS IN INSURING IMPLEMENTATION AND MAINTENANCE OF THE BEST MANAGEMENT PRACTICES (BMP'S) INDICATED HEREIN.
2. A NOTICE OF INTENT HAS BEEN FILED WITH THE STATE OF UTAH WATER RESOURCES CONTROL BOARD BY THE OWNER SO THAT THIS CONSTRUCTION PROJECT MAY BE COVERED UNDER THE STATE GENERAL PERMIT. THE PERMIT IS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (NO. UTR 620000) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
3. IN THE EVENT OF A CHANGE OF OWNERSHIP, A NEW NOTICE OF INTENT SHALL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD.
4. IN THE EVENT OF A RELEASE OF A REPORTABLE QUANTITY OF A POLLUTANT, THE CONTRACTOR SHALL ADVISE THE OWNER TO NOTIFY THE NATIONAL RESPONSE CENTER, MORGAN COUNTY AND GARDNER ENGINEERING. IF NECESSARY, THIS POLLUTION PREVENTION PLAN SHOULD BE REVISED TO REFLECT THE CHANGE IN CONDITIONS OF THE CONSTRUCTION ACTIVITY. A REPORTABLE QUANTITY IS ESTABLISHED BY 40 CODE OF FEDERAL REGULATIONS (CFR) 117.3 OR 40 CFR 302.4.
5. ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK CAN CONTRIBUTE TO OR CAUSE POLLUTION OF STORM WATER SHOULD BE MADE FAMILIAR WITH THIS POLLUTION PREVENTION PLAN. ADEQUATE TRAINING FOR IMPLEMENTATION OF THE MEASURES PRESENTED HEREIN SHALL BE PROVIDED TO THE CONTRACTORS AND THEIR PERSONNEL.
6. CHANGES ON CONSTRUCTION OR IN CONDITIONS WHICH ARE NOT COVERED BY THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND GARDNER ENGINEERING. IF NECESSARY, THIS POLLUTION PREVENTION PLAN WILL BE REVISED TO REFLECT THE CHANGE IN CONSTRUCTION OR IN CONDITIONS.
7. ALL PREVENTION AND CLEAN UP MEASURES SHOULD BE CONDUCTED IN ACCORDANCE WITH MORGAN COUNTY ORDINANCES, AS WELL AS STATE AND FEDERAL REGULATIONS. WASTE MATERIALS SHOULD BE DISPOSED OF IN A LEGAL MANNER.
- ALL DISCHARGERS OF STORM WATER MUST COMPLY WITH THE LAWFUL REQUIREMENTS OF MORGAN COUNTY AND OTHER LOCAL AGENCIES REGARDING THE DISCHARGES OF STORM WATER TO STORM DRAINS.

8. THIS PLAN DOES NOT COVER THE REMOVAL OF HAZARDOUS OR TOXIC WASTE. IN THE EVENT OF A DISCHARGE OR RELEASE OF A REPORTABLE QUANTITY OF TOXIC WASTE, WORK SHOULD BE STOPPED UNTIL THE SPILL CAN BE ASSESSED AND A MITIGATION REPORT PREPARED BY A QUALIFIED ENVIRONMENTAL CONSULTANT, AND IF NECESSARY, REVIEWED BY MORGAN COUNTY AND ANY OTHER AGENCY HAVING JURISDICTION.

9. THIS SWPPP SHALL BE MADE AVAILABLE TO THE PUBLIC UNDER SECTION 308 (B) OF THE CLEAN WATER ACT. UPON REQUEST BY MEMBERS OF THE PUBLIC, THE DISCHARGER SHALL MAKE AVAILABLE FOR REVIEW A COPY OF THIS SWPPP EITHER TO THE REGIONAL WATER BOARD OR DIRECTLY TO THE REQUESTER.

THIS SWPPP MUST BE KEPT ON SITE DURING CONSTRUCTION ACTIVITY AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER BOARD AND/OR THE LOCAL AGENCY.

## 10. CONTACTS

GARDNER ENGINEERING  
5150 E 375 S (801) 476-0202  
SUITE 200  
OGDEN, UTAH 84405

STATE OF UTAH  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
DIVISION OF WATER QUALITY ENVIRONMENTAL ENGINEER  
299 NORTH 1460 WEST (801) 538-6146  
P.O. BOX 144870  
SALT LAKE CITY, UTAH 84114

U.S. EPA  
ENVIRONMENTAL PROTECTION AGENCY  
DENVER, COLORADO REGION VIII  
800-759-4372

ENVIRONMENTAL PROTECTION AGENCY 202-475-9518  
WASHINGTON, D.C. 20460


## 11. REFERENCES

- A. UTILITY & STREET IMPROVEMENT PLANS PER GARDNER ENGINEERING DATED JUNE 2016.
- B. STORM WATER POLLUTION PREVENTION PLAN PREPARED BY GARDNER ENGINEERING DATED JUNE 2016.


12. THE PROPOSED CONSTRUCTION ACTIVITY IS THE UPPER SYSTEM TANK.
13. LOCATION OF THE SITE: WEBER COUNTY, UTAH
14. SITE SPECIFIC NOTES -

|          |           |
|----------|-----------|
| Date     | 11/4/2016 |
| Scale    | *****     |
| Designed | DLW       |
| Drafted  | MOD       |
| Checked  | DLW       |

| Revisions | Description |
|-----------|-------------|
| Date      |             |



SWPPP NOTES  
UPPER SYSTEM TANK  
LIBERTY PIPELINE COMPANY  
LIBERTY, WEBER, UTAH



SW3

23



## SWPPP NOTES 2

### UPPER SYSTEM TANK

#### STORM WATER POLLUTION PREVENTION PLAN GENERAL NOTES

##### A. PROHIBITION ON MOST NON-STORM WATER DISCHARGES

ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE ON-SITE STORM DRAIN SYSTEM. CLEAN, NON-CHLORINATED WATER FROM THE FLUSHING OF FIRE HYDRANTS, WATER MAINS, AND STORM DRAINS MAY BE DISCHARGED TO THE STORM DRAIN IF IT IS NOT ALLOWED TO COLLECT DIRT, DEBRIS, AND TRASH WHILE FLOWING TO A STORM DRAIN INLET.

##### B. SOURCES OF STORM WATER POLLUTANTS

STORM WATER POLLUTANTS INCLUDE SOIL SEDIMENT AND NUTRIENTS, OIL, GREASE, TOXIC POLLUTANTS, AND HEAVY METALS. SOURCES OF STORM WATER POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SOIL EROSION BY WATER AND/OR WIND; CLEARING OF VEGETATION; GRADING; VEHICLE AND EQUIPMENT REFUELING AND MAINTENANCE; WASHING OF CONCRETE TRUCKS, MIXERS AND HANDLING EQUIPMENT; PAINTS, SOLVENTS AND ADHESIVES; AND LANDSCAPING WORK.

##### C. EROSION AND SEDIMENT CONTROLS

1- COVER EXPOSED STOCKPILES OF SOILS, CONSTRUCTION AND LANDSCAPING MATERIAL WITH HEAVY PLASTIC SHEETING.

2- IN LANDSCAPING AREAS WHERE THE VEGETATION HAS NOT ESTABLISHED GROWTH AND TAKEN HOLD, CONSTRUCT SANDBAG OR DIRT BERMS AROUND THEIR PERIMETER TO INSURE THAT WATER WILL BE CONTAINED INSIDE THE LANDSCAPING AREA AND THAT IT WILL NOT BE CONVEYED TO A STORM DRAIN INLET.

3- RE-VEGETATE AREAS WHERE LANDSCAPING HAS DIED OR NOT TAKEN HOLD.

4- DIVERT STORM WATER RUNOFF AROUND DISTURBED SOILS WITH BERMS OR DIRT SWALES.

##### D. OTHER CONTROLS

##### 1- WASTE DISPOSAL

A. KEEP WASTE DISPOSAL CONTAINERS COVERED.  
B. PROVIDE FOR THE WEEKLY (OR MORE FREQUENT, IF NECESSARY) DISPOSAL OF WASTE CONTAINERS.  
C. PROVIDE CONTAINERS AT CONVENIENT LOCATIONS AROUND THE SITE.

##### 2- SWEEPING OF SITE

A. PROVIDE WEEKLY SWEEPING BY HAND OR MECHANICAL MEANS TO KEEP THE PAVED AREAS OF THE SITE FREE OF DUST, DIRT, AND DEBRIS.

B. DISPOSE OF ACCUMULATED DIRT IN WASTE CONTAINERS, OR HAUL IT OFF THE SITE TO A LANDFILL.

##### 3- SANITARY/SEPTIC DISPOSAL

PORTABLE TOILETS AND OTHER SANITARY FACILITIES SHALL BE SERVICED WEEKLY AND PUMPED CLEAN BY A WASTE DISPOSAL COMPANY. NO TOXIC OR HAZARDOUS WASTE SHALL BE DISPOSED IN A PORTABLE TOILET OR IN THE ON-SITE SANITARY SEWER.

##### 4- SPILLS

A. STORE ADEQUATE ABSORBENT MATERIALS, RAGS, BROOMS, SHOVELS, AND WASTE CONTAINERS ON THE SITE TO CLEAN-UP SPILLS OF MATERIALS SUCH AS FUEL, PAINT, SOLVENTS, OR CLEANERS. CLEAN UP MINOR SPILLS IMMEDIATELY.

B. FOR REPORTABLE QUANTITY OF HAZARDOUS OR TOXIC SUBSTANCE, SECURE THE SERVICES OF QUALIFIED PERSONNEL FOR CLEAN-UP AND DISPOSAL.

##### 5- CONTROL OF ALLOWABLE NON-STORM WATER DISCHARGES

LANDSCAPING IRRIGATION, EROSION CONTROL MEASURES, PIPE FLUSHING AND TESTING, AND PAVEMENT WASHING ARE ALLOWED IF THEY CANNOT FEASIBLY BE ELIMINATED. COMPLY WITH THIS PLAN, DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS, AND ARE NOT REQUIRED TO BE PERMITTED BY THE LOCAL REGIONAL WATER QUALITY CONTROL BOARD.

##### 6- VEHICLES AND EQUIPMENT


A. FIX LEAKS OF FUEL, OIL AND OTHER SUBSTANCES IMMEDIATELY.

B. PERFORM REFUELING AND SERVICE OF VEHICLES OR EQUIPMENT OFF-SITE WHEN POSSIBLE. IF REFUELING OR SERVICE OF EQUIPMENT IS PERFORMED ON-SITE, THEN PROVIDE AN IMPERVIOUS, CONTAINED AREA WHERE ANY SPILLS CAN BE CONTAINED WITHOUT FLOWING TO A STORM WATER INLET OR INTO THE GROUND.

C. USE DRIP PANS TO CATCH LEAKS AND SMALL SPILLS.


|          |           |
|----------|-----------|
| Date     | 11/4/2016 |
| Scale    | #####     |
| Designed | DLW       |
| Drafted  | MDO       |
| Checked  | DLW       |

| Revisions | Description |
|-----------|-------------|
| Date      |             |
|           |             |
|           |             |
|           |             |



No. 354312  
Daniel Leon  
White  
STATE OF UTAH

**SWPPP NOTES 2**  
**UPPER SYSTEM TANK**  
**LIBERTY PIPELINE COMPANY**  
**LIBERTY, WEBER, UTAH**



**GARDNER**  
**ENGINEERING**  
CIVIL • LAND PLANNING  
INTEGRITY • INNOVATION  
2360 SOUTH 3700 EAST, SUITE 100  
OFFICE: 801-476-0202 FAX: 801-476-0066

**SW4**  
**23**

## STRUCTURAL NOTES

### A. GENERAL

1. THE STRUCTURAL NOTES ARE INTENDED TO COMPLEMENT THE PROJECT SPECIFICATIONS WHICH ARE PART OF THE CONSTRUCTION DOCUMENTS. SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL GOVERN OVER THE STRUCTURAL NOTES AND TYPICAL DETAILS.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE. IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO FABRICATION OR CONSTRUCTION OF ANY AFFECTED ELEMENTS.
3. ALL ORDERS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN CASE OF CONFLICT, FOLLOW THE MOST STRINGENT REQUIREMENT AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
4. OBSERVATION VISITS TO THE SITE BY ARCH ENGINEERS FIELD REPRESENTATIVES SHALL NOT BE CONSIDERED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.
5. SEE SPECIFICATIONS FOR REQUIRED SUBMITTALS. SUBMITTALS SHALL BE MADE IN A TIMELY MANNER AS INDICATED IN SPECIFICATIONS. REVIEW OF SUBMITTALS BY ARCH ENGINEERS IS FOR GENERAL COMPLIANCE ONLY AND IS NOT INTERPRETED AS APPROVAL. SUBMITTALS WHICH ARE UNCLEAR OR DIFFICULT TO READ SHALL BE REJECTED.
6. DURING AND AFTER CONSTRUCTION, BUILDER AND/OR OWNER SHALL KEEP LOADS ON STRUCTURE WITHIN THE LIMITS OF DESIGN LOADS.
7. TYPICAL DETAILS AND SECTIONS SHALL APPLY WHERE SPECIFIC DETAILS ARE NOT SHOWN.
8. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST TO THE ENGINEER FOR APPROVAL BEFORE PROCEEDING WITH ANY CHANGES, MODIFICATIONS OR SUBSTITUTIONS.
9. THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS UNTIL THE ENTIRE STRUCTURAL SYSTEM IS COMPLETED. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF ALL SHORING.
10. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL LOCATIONS AND SIZES OF MECHANICAL, EQUIPMENT OR OTHER EQUIPMENT BEFORE FABRICATING AND ERECTING STRUCTURAL ELEMENTS.

### B. SPECIAL INSPECTION

1. SPECIAL INSPECTION OF ALL CONCRETE SHALL BE PROVIDED BY AN INDEPENDENT AGENCY EMPLOYED AS OUTLINED IN THE SPECIFICATIONS. CONTRACTOR SHALL COORDINATE AND COOPERATE WITH REQUIRED INSPECTIONS.

### C. BASIS OF DESIGN

1. GOVERNING CODE: ACI 308 / ACI 308R
2. DESIGN LOAD: 100 PSF
3. MAXIMUM SOIL COVER: 4' SOIL

### D. FOUNDATION

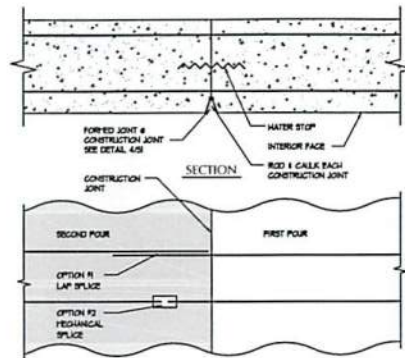
1. DESIGN SOIL PRESSURE: 4000 PSF
2. SOIL REPORT BY: GEOTECHNICAL REPORT # 1, 146-00, DATED: JUNE 21, 2004
3. SOIL PREPARATION UNDER FOOTINGS AND SLABS-ON-GRADE SHALL BE IN ACCORDANCE WITH THE SOIL REPORT.
4. UNLESS NOTED OTHERWISE, ALL FOOTINGS AT COLUMNS TO BE CENTERED UNDER COLUMNS.

### E. CONCRETE

1. ALL CONCRETE SHALL HAVE A DESIGN 28-DAY COMPRESSIVE STRENGTH AS FOLLOWS:
  - FOOTINGS, SLAB ON GRADE, COLUMNS, WALLS AND ROOF SLAB: 3500 PSI
  - ALL CONCRETE SHALL HAVE AN AIR CONTENT OF 5% AND PUMPED WATER / CEMENT RATIO OF 0.40
2. NO FIBER DUCTS, SLEEVES, ETC. SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED OR APPROVED BY STRUCTURAL ENGINEER. NO ALUMINUM PRODUCTS SHALL BE EMBEDDED IN CONCRETE. PENETRATIONS THROUGH WALLS WHEN APPROVED SHALL BE BUILT INTO THE WALL PRIOR TO PLACEMENT OF CONCRETE. REFER TO OTHER (CIVIL, ETC.) DRAWINGS FOR EXTENT AND LOCATION OF PENETRATIONS, CURBS, RAMP, ETC.
3. AROUND OPENINGS IN SUSPENDED CONCRETE SLABS, ADD REINFORCING BARS EQUIVALENT TO BARS CUT BY OPENING INTO HALF ON EACH SIDE OF OPENING. BARS SHALL RUN FULL LENGTH OF SPAN. SEE DETAIL 505.
4. CONSTRUCTION JOINTS NOT SHOWN ON THE PLANS SHALL BE MADE AND LOCATED SO AS TO NOT IMPAIR THE STRENGTH OF THE STRUCTURE AND AS APPROVED BY THE STRUCTURAL ENGINEER. PROVIDE WATERSTOP IN ALL VERTICAL AND HORIZONTAL JOINTS. ALL STEEL REINFORCING SHALL BE CONTINUOUS THROUGH GILD JOINTS, WITH LAP SPLICES AS INDICATED UNLESS NOTED OTHERWISE.

### F. REINFORCING STEEL

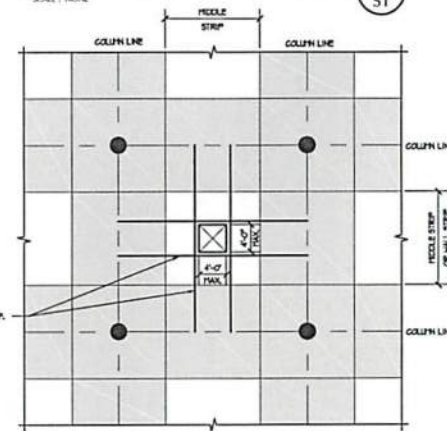
1. ALL REINFORCING BARS SHALL CONFORM TO ASTM STANDARD A-65 (GRADE 60) ADEQUATELY TIE AND SUPPORT ALL REINFORCING STEEL AS SPECIFIED BY ACI 308. TO MAINTAIN EXACT REQUIRED POSITION, ALL FIELD BENT DOCKELS SHALL BE GRADE 40 WITH SPACINGS INDICATED REDUCED BY 1/3.
2. REINFORCING SHALL HAVE THE FOLLOWING CONCRETE COVER:
  - A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
  - B. EXPOSED TO EARTH, WATER OR WEATHER: 2"
  - C. IN 4" WALLS: 2"
  - D. IN 6" WALLS: 2"
  - E. IN 8" WALLS: 2"
  - F. IN 10" WALLS: 2"
  - G. IN 12" WALLS: 2"
  - H. IN 14" WALLS: 2"
  - I. IN 16" WALLS: 2"
  - J. IN 18" WALLS: 2"
  - K. IN 20" WALLS: 2"
  - L. IN 22" WALLS: 2"
  - M. IN 24" WALLS: 2"
  - N. IN 26" WALLS: 2"
  - O. IN 28" WALLS: 2"
  - P. IN 30" WALLS: 2"
  - Q. IN 32" WALLS: 2"
  - R. IN 34" WALLS: 2"
  - S. IN 36" WALLS: 2"
  - T. IN 38" WALLS: 2"
  - U. IN 40" WALLS: 2"
  - V. IN 42" WALLS: 2"
  - W. IN 44" WALLS: 2"
  - X. IN 46" WALLS: 2"
  - Y. IN 48" WALLS: 2"
  - Z. IN 50" WALLS: 2"
3. SLAB ON GRADE:
  - A. PLACE REINFORCING AT CENTER OF SLAB UNLESS INDICATED OTHERWISE.
  - B. EXCEPT WHERE NOTED, CONTINUOUS REINFORCING SHALL BE SPLICED WITH LAP SPLICES AT POINTS OF MAXIMUM STRESS AS FOLLOWS:
    - 1. IN COLUMNS USE 36 INCH LAP
    - 2. IN SUSPENDED SLAB USE 48 BAR DIAMETER LAP AND STAGGER ADJACENT BAR SPLICES 24" MIN.
    - 3. IN SLAB-ON-GRADE USE 36 BAR DIAMETER LAP
  - C. ALL VERTICAL REINFORCING SHALL BE DOCKELED TO FOOTINGS OR STRUCTURE BELOW WITH DOCKELS TO MATCH. SPLICE LENGTHS SHALL COMPLY WITH NOTE F.3. DOCKELS INTO FOOTINGS SHALL TERMINATE WITH A STANDARD HOOK AND SHALL EXTEND TO WITHIN 4" OF THE BOTTOM OF THE FOOTING, BUT NOT MORE THAN 14" INTO FOOTING. SEE DETAIL FOR HOOK, ENDVIEW OR DOCKELS.
  - D. DO NOT HOLD REINFORCING.



NOTES:  
1. FOR OPTION #1 SPLICE LENGTHS ARE:  
15 BARS - 36"  
16 BARS - 48"  
2. FOR OPTION #2 MECHANICAL CONNECTIONS, HOOKS ACHIEVING 20% OF THE STRENGTH OF THE BARS BEING SPLICED, SUBMIT A CURRENT UCC RESEARCH REPORT FOR APPROVAL PRIOR TO CONSTRUCTION.

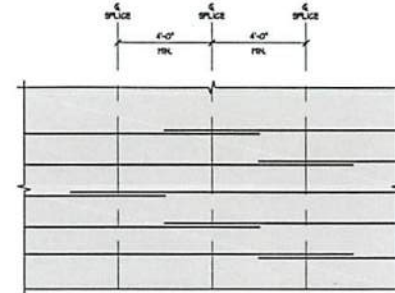
TYP. CONST. JOINT IN WALL DETAIL

SCALE: NONE



TYPICAL ROOF OPENING DETAIL

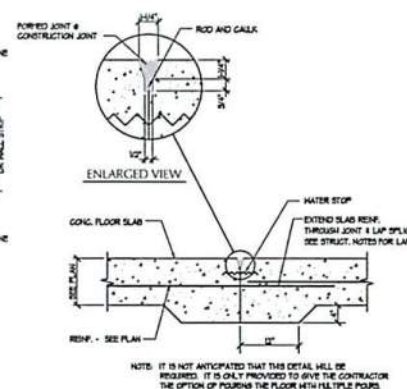
SCALE: NONE



NOTES:  
SPLICES MAY NOT CONCENTRATE VERTICALLY MORE FREQUENTLY THAN EVERY THIRD BAR.

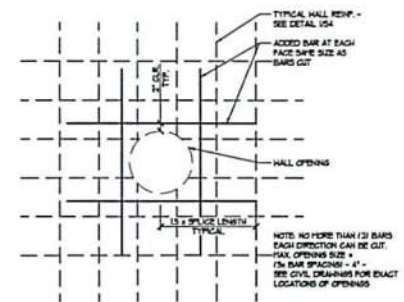
TYP. REINF. BAR SPLICE DETAIL

SCALE: NONE



TYP. CONST. JOINT IN FLOOR SLAB DETAIL

SCALE: NONE



TYPICAL WALL OPENING DETAIL

SCALE: NONE

|          |            |
|----------|------------|
| Date     | 08-20-2008 |
| Booklet  | AS NOTED   |
| Designed | WHY        |
| Drafted  | BLP        |
| Checked  | CLP        |

| Revisions | Description | Date |
|-----------|-------------|------|
|           |             |      |
|           |             |      |
|           |             |      |



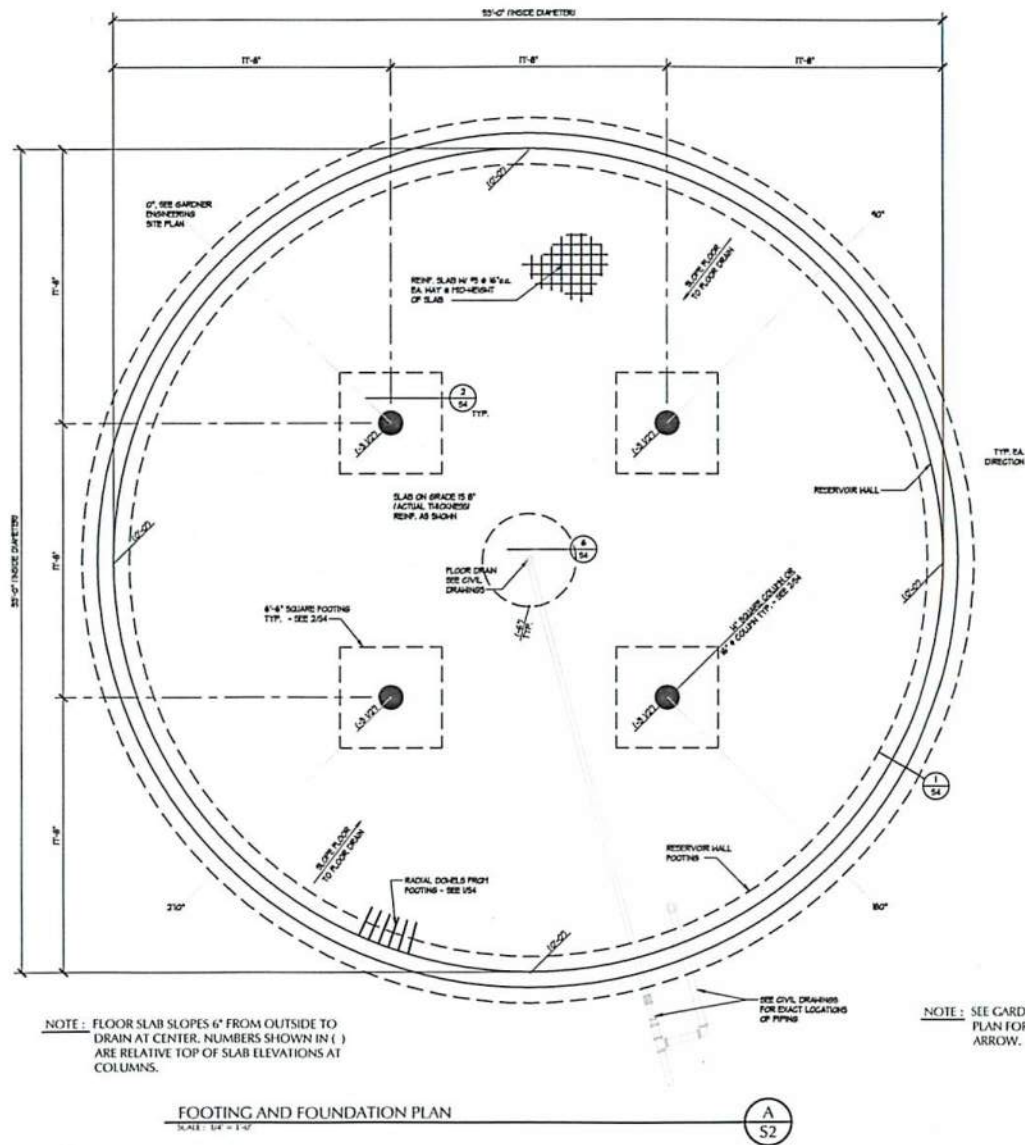
STRUCT. NOTES + SCHEDULES  
UPPER SYSTEM TANK  
LIBERTY PIPELINE COMPANY  
LIBERTY, WEBER, UTAH

**GARDNER ENGINEERING**  
CIVIL/LAND PLANNING  
MUNICIPAL/LAND SURVEYING  
2150 SOUTH 4700 EAST, OGDEN, UT  
84203-5116 (801) 466-1420 FAX (801) 466-1420

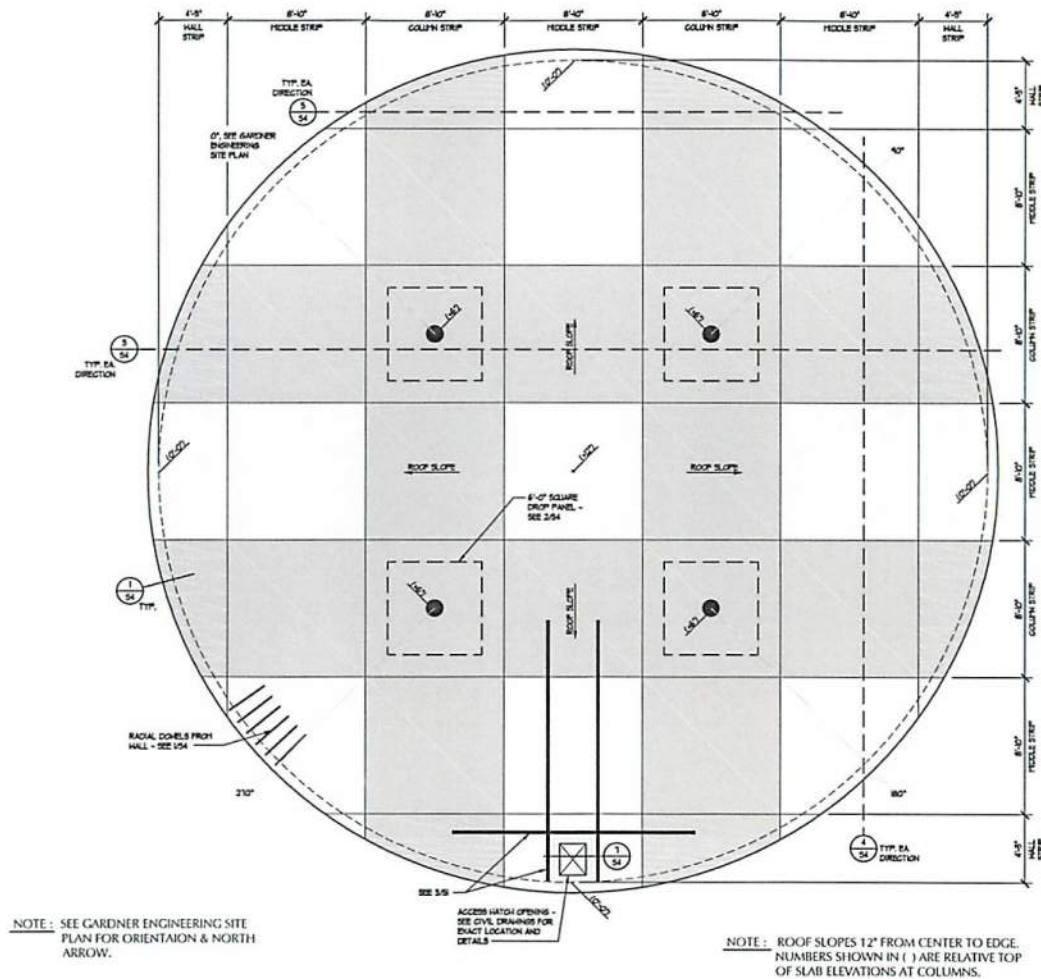
**S1**  
ENGINEERS

ARCHITECTS  
ENGINEERS  
SURVEYORS  
CONSULTANTS  
1100 N. Park Dr. Ogden, Utah 84203  
PH: 801.466.1420 FAX: 801.466.1420







|   |  |  |   |
|---|--|--|---|
| <b>GARDNER ENGINEERING</b><br>CIVIL & LAND PLANNING<br>MUNICIPAL & LAND SURVEYING<br>3120 SOUTH 3000 EAST, SUITE 100<br>DEERFIELD, MO 64015 | <b>PLAN</b><br>UPPER SYSTEM TANK<br>LIBERTY PIPELINE COMPANY<br>LIBERTY, WEBER, UTAH |  | Date: 08-30-2016<br>Book: AS NOTED<br>Design: WWT<br>Drafted: RLP<br>Checked: CLP |
|   | Revision<br>Date<br>Description  |  |   |



ROOF SLAB PLAN  
SCALE: 1/4" = 1'-0"

A  
S3



|    |  |   |   |             |                 |                  |
|----|--|---|---|-------------|-----------------|------------------|
| S3 |  <b>GARDNER<br/>ENGINEERING</b><br>CIVIL-LAND PLANNING<br>MUNICIPAL-LAND SURVEYING<br>5150 SOUTH 3,25 EAST OGDEN, UT<br>OFFICE: 801-476-0020 FAX: 801-476-0066 | PLAN<br>UPPER SYSTEM TANK<br>LIBERTY PIPELINE COMPANY<br>LIBERTY, WEBER, UTAH |  | Revisions   |                 | Date: 08-30-2016 |
|    |  |   |   | Description | Scale: AS NOTED |                  |
|    |  |   |   |             | Designed: WHY   |                  |
|    |  |   |   |             | Drafted: BLP    |                  |
|    |  |   |   |             | Checked: DLP    |                  |



S4



## Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

### Synopsis

#### Application Information

|                             |   |
|-----------------------------|---|
| <b>Application Request:</b> | Public hearing to consider a request to amend the side yard setbacks in the Ogden Valley Destination and Recreation Resort Zone (§104-29) in the Uniform Land Use Code of Weber County, Utah. |
| <b>Type of Decision:</b>    | Legislative   |
| <b>Agenda Date:</b>         | Tuesday, January 03, 2017   |
| <b>Applicant:</b>           | Summit Mountain Holding Group, L.L.C.   |
| <b>Representative:</b>      | Jeff Werbelow, Summit Mountain Holding Group – Eden, Utah   |
| <b>File Number:</b>         | ZTA 2016-07   |

#### Staff Information

|                          |  |
|--------------------------|--|
| <b>Report Presenter:</b> | Ronda Kippen<br><a href="mailto:rkippen@co.weber.ut.us">rkippen@co.weber.ut.us</a><br>801-399-8768 |
| <b>Report Reviewer:</b>  | SM   |

### Applicable Ordinances

- Weber County Land Use Code, Title 104, Chapter 29 (Ogden Valley Destination and Recreation Resort Zone).

### Summary and Background

The Planning Division recommends approval of the text amendment request to reduce the side yard setbacks in the Ogden Valley Destination and Recreation Resort Zone (DRR-1) in §104-29 of the Uniform Land Use Code of Weber County, Utah (LUC). The request is to amend the development standards outlined in LUC §104-29-2(h)(3)(b)(1) from an eight foot minimum side yard setback, with a minimum overall side yard setback of 18 feet to a five foot setback, with no minimum combination. The applicant intends on maintaining an eight foot minimum side yard setback, with a minimum overall side yard setback of 18 feet in the CC&R's; however, the applicant would like the ability to vary this standard on a case by case basis in order to protect and preserve the natural habitat on the mountain (see Exhibit A).

On May 24, 2016 the Weber County Commission passed a text amendment that included this area of the LUC modifying the minimum lot sizes, lot widths, setbacks, and maximum building heights. Since that time, home construction has commenced and it has become evident that in order to protect and preserve multiple areas of what the developer has identified as "century trees" some additional development standards need to be modified to allow for some flexibility during the developer's "Architectural Review Committee" process for the design and location of each new home in the development. These "century trees" are very large and old (over 100 years old) groves of trees and the developer would like to preserve these areas as much as possible. In order to do so, the developer will need the flexibility of moving some of the homes closer to the property lines to protect these groves of trees.

The proposed text amendment to the DRR-1 Zone has been reviewed against the 2016 Ogden Valley General Plan and certain standards in the LUC and is supported by the visions, goals and standards in these plans and ordinances. The following is staff's evaluation of the request.

### Analysis

#### General Plan:

The "Community Character Vision" outlined in the 2016 Ogden Valley General Plan states:

*"The rural character of Ogden Valley is defined by its open fields, agricultural lands, stands of trees, peace and quiet, dark skies, clean air and water, abundant wildlife, and small villages."*

The Ogden Valley community desires physical development to complement, not overwhelm or compete with, the rural character of the Valley. Residents want to ensure that new development enhances, not detract from, Ogden Valley's



character by encouraging creative development designs that preserve natural, agricultural, and other open spaces, including clustered and mixed-use developments; therefore “a goal of Weber County is to protect the Valley’s Sense of openness and rural character” by “encouraging the preservation and maintenance of significant trees, shrubs and other natural vegetation in riparian and other natural areas.”

The proposal conforms to the 2016 Ogden Valley General Plan by providing flexible development standards that can be used to preserve physical features and create development patterns that are compatible with and complement the natural environment and rural character of the Valley. The Ogden Valley General Plan also states that in the Ogden Valley planning area, Weber County will promote and encourage unique and functional design in new developments, public spaces, and streetscapes to create a visible character distinct to Ogden Valley that enhances the Valley’s character. (Ogden Valley General Plan page 4, 7 & 52);

**Zoning:**

The purpose and intent of the Ogden Valley Destination and Recreation Resort Zone (DRR-1) is:

*“The purpose of this chapter is to provide flexible development standards to resorts that are dedicated to preserving open space and creating extraordinary recreational resort experiences while promoting the goals and objectives of the Ogden Valley general plan. It is intended to benefit the residents of the county and the resorts through its ability to preserve the valley’s rural character, by utilizing a mechanism that allows landowners to voluntarily transfer development rights to areas that are more suitable for growth when compared to sensitive land areas such as wildlife habitats, hazardous hillsides or prime agricultural parcels. Resorts within an approved destination and recreation resort zone shall, by and large, enhance and diversify quality public recreational opportunities, contribute to the surrounding community’s well-being and overall, instill a sense of stewardship for the land.”*

The requested amendment would modify the side yard setbacks for all “Single, two, three and four-family dwellings” in the DRR-1 Zone as shown below:

**(h) Site development standards.**

|  |    |   |  |
|--|----|---|--|
|  | b. | Side yard                                   |  |
|  | 1. | Single, two, three and four-family dwelling | <div>8 feet with a total of two required side yards of not less than 18 feet</div> <div>5 feet</div> |

The requested text amendment is supported by the language in the DRR-1 Zone Development Standards (General design and layout section (LUC§104-29-2(a)) by concentrating the residential uses to preserve the surrounding open landscapes and wildlife habitats. In addition, “a very important goal” in the DRR-1 Zone Development Standards is “The preservation of open space and the maintenance of the Ogden Valley’s rural character and its natural systems” (LUC 104-29-2(c)(1)).

**Summary of Planning Commission Considerations**

- Does the proposed amendment conform to the Ogden Valley General Plan?
- Does the proposed amendment preserve the overall purpose and intent of the Ogden Valley Destination and Recreation Resort Zone?

**Staff Recommendation**

The Planning Division supports the request to amend the side yard setbacks in the Ogden Valley Destination and Recreation Resort Zone from eight feet with a total of two required side yards of not less than 18 feet to a minimum of five feet due to the support found in the 2016 Ogden Valley General Plan and by meeting the purpose and intent of the DRR-1 Zone.

The Planning Division suggests that the Planning Commission recommend that the Weber County Commission approve and adopt the above described amendment based on the following findings:

1. The proposal conforms to the 2016 Ogden Valley General Plan by providing flexible development standards that can be used to preserve physical features and create development patterns that are compatible with and complement the natural environment and rural character of the Valley.
2. The proposed text amendment is not contrary to the purpose and intent of the Ogden Valley Destination and Recreation Resort Zone.
3. The proposed text amendment will not be detrimental to public health, safety, or welfare.
4. The proposed text amendment will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

## Exhibits

- A. Text Amendment Application Form
- B. Proposed Ogden Valley Destination and Recreation Resort (DRR-1) Zone LUC §104-29-2(h)(3)(b)(1)



# Exhibit A-Text Amendment Application Form

| Weber County General Plan or Text Amendment Application  |                          |  |
|--|--------------------------|--|
| Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401  |                          |  |
| Date Submitted<br>DECEMBER 1, 2016   | Received By (Office Use) | Added to Map (Office Use)  |
| <b>Property Owner Contact Information</b>  |                          |  |
| Name of Property Owner(s)<br>SUMMIT POWDER MOUNTAIN  |                          | Mailing Address of Property Owner(s)<br>3632 N. WOLF CREEK, EDEN, UT 84310   |
| Phone<br>435-640-7002  | Fax<br>N/A               |  |
| Email Address<br>JW@SUMMIT.CO  |                          | Preferred Method of Written Correspondence<br><input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail |
| <b>Ordinance Proposal</b>  |                          |  |
| Ordinance to be Amended<br>TITLE 104 (ZONES), CHAPTER 29 (DRR-1), SECTION 104-29-2 (DEVELOPMENT STANDARDS)   |                          |  |
| Describing the amendment and/or proposed changes to the ordinance:   |                          |  |
| <p>Currently under (104-29-2-h-3-b-1), Single, two, three, and four-family dwellings have a side yard setback of 8 feet with a total of two side yards of not less than 18 feet.</p> <p>Summit requests an amendment to reduce the side yard setback to 5 feet, with no combined minimum.</p> <p>Summit will be keeping the current side yard setback requirements (8 feet with a total of two side yards of not less than 18 feet) as the standard in our Design Guidelines, but this will allow the Architectural Review Committee to allow variances of down to 5 feet on a case-by-case basis.</p> |                          |  |

## Exhibit A-Text Amendment Application Form

### Ordinance Proposal (continued...)

### Applicant Affidavit

I (We), Summit Parkier Mountain, depose and say that I (we) am (are) the interested member(s) of this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

(Signature)

(Signature)

Subscribed and sworn to me this 30 day of November 20 16



(Notary)



Exhibit B- Proposed DRR-1 Zone LUC§104-29-2(h)(3)(b)(1)

Sec. 104-29-2. - Development standards.

...

(h) *Site development standards.*

...

| b. | Side yard  |
|----|--|
|    | <div data-bbox="199 520 711 552">1. Single, two, three and four-family dwelling</div> <div data-bbox="740 489 1490 573"><del>8 feet with a total of two required side yards of not less than 18 feet</del><br/><u>5 feet</u></div> |

...

(Ord. of 1956, § 44-2; [Ord. No. 2016-4](#), Exh. B2, 5-24-2016)



## Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

### Synopsis

#### Application Information

**Application Request:** To discuss and take public comment on a proposal to amend the following sections of Weber County Code: Definitions (§101-1-7), Ogden Valley Lighting (§108-16), and Ogden Valley Signs (§110-2) to provide clearer standards for outdoor light and outdoor lighting devices in the Ogden Valley in order to support dark sky-viewing, astrotourism, the Dark Sky accreditation of North Fork Park, and the Ogden Valley General Plan.

**Agenda Date:** Tuesday, January 03, 2017

**Staff Report Date:** Tuesday, December 27, 2016

**Applicant:** Weber County Planning Division

**File Number:** ZTA 2016-06

#### Staff Information

**Report Presenter:** Charlie Ewert  
cewert@co.weber.ut.us  
(801) 399-8763

**Report Reviewer:** RG

### Applicable Ordinances

§101-1-7: Definitions  
 §108-16: Ogden Valley [Outdoor] Lighting  
 §110-2: Ogden Valley Signs

### Legislative Decisions

Decision on this item is a legislative action. When the Planning Commission is acting on a legislative item it is acting as a recommending body to the County Commission. Legislative decisions have wide discretion. Examples of legislative actions are general plan, zoning map, and land use code amendments. Typically, the criterion for providing a recommendation on a legislative matter suggests a review for compatibility with the general plan and existing ordinances.

### Summary and Background

One of the significant recommendations found in the new 2016 Ogden Valley General Plan is a recommendation to enhance and support the Ogden Valley's dark skies.

Weber County has one of the first ever dark sky ordinances in the state, adopted it in 2000. Since then the Ogden Valley Starry Nights, a grass roots community committee, has been successful in getting the North Fork Park accredited by the International Dark Sky Association. This accreditation was made possible in some part due to the dark sky ordinance from 2000.

Changed and changing technology and emerging trends render many parts of the 2000 ordinance irrelevant or difficult to administer. Upon the direction from the new general plan, and after discussions with the Ogden Valley Starry Nights committee it has been determined that revisions to this ordinance merits a high priority in order for the North Fork Park to maintain its accreditation. This proposal strengthens the weaknesses in the current ordinance, simplifies some of the complicated lighting technology, and offers clearer standards and simpler administration and enforcement mechanisms for staff. A desired outcome of these changes is that night sky compliance will be simple to identify for both County employees and for the general public.

This proposal also addresses sign lighting. While the sign code is open for amendment it seemed prudent to address a few administrative edits and provisions that staff have noted needed addressing. The sign code was amended in 2013 to better address temporary signs, and in 2009 to address internal illumination. Staff would like the Planning Commission to now consider refinement of the 2013 and 2009 changes, and also address conservation easement property signs.



## Policy Analysis

Exhibit B tracks the changes between the version the Planning Commission reviewed on December 6<sup>th</sup> and the current proposal. A clean copy and the track change copy that is tracking the entirety of changes between the current code and the proposed code can be found on Miradi. Feel free to call if you would like either of those to be printed for you.

For the January 3<sup>rd</sup> meeting, we feel it is appropriate to only host a hearing and then only entertain discussion. The ordinance is not likely ready for final recommendation to the County Commission yet.

### Policy Considerations:

*No residential mandate.* Based on feedback in the December 6<sup>th</sup> meeting and a re-review of the public comments from the last 2016 Ogden Valley General Plan open house, it may be prudent to consider not mandating the ordinance for residential uses. This new proposal presents possible language for the Planning Commission to consider. See Section 108-16-2. It suggests an educational effort, and offers a mechanism to track whether the educational effort adequately addresses the issue. If the Planning Commission is amenable to the idea, this section can be implemented for a period of time to see whether an educational campaign proves effective. If not, the Planning Commission can readdress it at a later time.

*Incentives.* Beyond the education and voluntary compliance for residential uses, it may also be prudent to consider incentives to encourage voluntary compliance. For example, consider this list of regulations and how they can be modified to incentivize compliance with outdoor lighting:

1. Side and rear yard setback reductions
2. Maximum height increases
3. Reduced design requirements for accessory buildings over 1000 square feet
4. Increased height for accessory building
5. Alternative access
6. Minor increases in density for PRUD's and Cluster Subdivisions when light restrictions are part of CC&R's.

These are a few simple brain-storming ideas for the Planning Commission to consider. They have not been introduced into the proposed ordinance at this time.

*Exemptions.* A few paragraphs of the exemptions section were modified. If the residential mandate is removed then the patio lighting exemption is no longer needed. In its place we inserted agricultural lighting into the exemptions.

*Nonconforming signs.* In the December 6<sup>th</sup> meeting the Planning Commission asked to see language regarding phasing-out nonconforming signage. This proposal offers that language. It is borrowed from the phase-out language in the proposed lighting code. It should be noted that phasing out nonconforming signage is different than phasing out nonconforming outdoor lighting. Retrofitting lighting or purchasing new lighting fixtures is typically less costly than replacing signage. This is a policy decision for the Planning Commission to consider. The language can be modified more if needed.

*Economics.* In the December 6<sup>th</sup> meeting the Planning Commission asked whether a more focused economic analysis of astrotourism can be offered for the Ogden Valley. Sara Toliver from the Ogden Convention and Visitors Bureau (Visit Ogden) has offered brief insight on this in the attached Exhibit F.

## Conformance to the General Plan

Generally, land use code changes should be vetted through the filter of policy recommendations of the applicable general plan. The new 2016 Ogden Valley General Plan offers us guidance on what the community desires:

The vision for the community character section of the general plan is as follows:

The rural character of Ogden Valley is defined by its open fields, agricultural lands, stands of trees, peace and quiet, *dark skies*, clean air and water, abundant wildlife, and small villages; by Pineview Reservoir; by historic Ogden Canyon and by the long views of the surrounding foothills and mountain background. The

Ogden Valley community desires physical development to complement, not overwhelm or compete with, the rural character of the Valley. In the Ogden Valley planning area, Weber County will promote and encourage unique and functional design in new developments, public spaces, and streetscapes to create a visible character distinct to Ogden Valley that enhances the Valley's character [italics added].<sup>1</sup>

The community's desire to maintain an identity and character of being a dark sky destination is specifically written into this vision. Further, the general plan provides the following:

Dark Sky Preservation: Ogden Valley residents have expressed a strong desire to preserve their legacy dark skies. In 2000, dark-sky lighting and sign ordinances were passed, and in spring 2015, North Fork Park became the world's 21st International Dark Sky Park, constituting a northern anchor for the national parks in Utah that have also been accredited. Astrotourism (a natural companion to agritourism) is an accelerating trend that not only can support the local economy but also can honor Ogden Valley's rural heritage and distinct natural beauty.<sup>2</sup>

This suggests that there is a desire to not only enhance the character of the valley by offering excellent visibility of the night sky, but to also take advantage of an emerging high value tourism trend for economic development purposes.

The plan recommends goals, principles, and implementation strategies to protect the nighttime sky:

Dark Sky Preservation Goal 1: A goal of Weber County is to protect the night sky in order to preserve the Valley's rural character and heritage.

Dark Sky Preservation Principle 1.1: Encourage programs for residential and agricultural dark-sky-lighting compliance.

Dark Sky Preservation Implementation 1.1.1: Review the current dark-sky lighting ordinance for consistency with dark-sky principle and current technology; identify possible updates. Consider amendments as necessary.

Dark Sky Preservation Principle 1.2: Promote the accreditation of North Fork Park as the world's 21st International Dark Sky Park, and encourage astro-, agri-, and ecotourism development.

Dark Sky Preservation Implementation 1.2.1: Evaluate current dark-sky sign ordinance for community character effectiveness and competitiveness with other Amenity West communities; identify possible updates.<sup>3</sup>

Commercial Development Goal 2: A goal of Weber County is to ensure that the design of retail and commercial development is consistent with Ogden Valley's rural character.

Commercial Development Principle 2.3: Ensure that all signage in Ogden Valley is compatible with the context of the sign's location and the rural character of Valley.

Commercial Development Principle 2.3: Ensure that all signage in Ogden Valley is compatible with the context of the sign's location and the rural character of Valley.<sup>4</sup>

The plan also references the need for better nighttime lighting ordinances in the Commercial Development Implementation strategy 2.1.1.

The Planning Commission can easily find support for the proposed ordinance in the 2016 Ogden Valley General Plan.

*General Plan public comment.* When considering the public sentiment regarding night sky protection, there was much support for it from the public that were present at the final general plan open house. However, it was not without a few critics. To evaluate the parts of the plan that the public liked and disliked, we asked participants to place a "smiley face" sticker next to the provisions they liked and to write constructive criticism next to the provisions they did not like. The results can be seen in this image:

<sup>1</sup> See 2016 Ogden Valley General Plan page 4.

<sup>2</sup> See 2016 Ogden Valley General Plan page 5.

<sup>3</sup> See 2016 Ogden Valley General Plan page 8.

<sup>4</sup> See 2016 Ogden Valley General Plan page 26.



Gateways and Viewsheds Implementation 1.1.1: Incorporate air and water quality protection considerations in the development review and approval process.

Dark Sky Preservation Goal 1: A goal of Weber County is to protect the night sky in order to preserve the Valley's rural character and heritage. ●●●●●●●●●●

Dark Sky Preservation Principle 1.1: Encourage programs for residential and agricultural dark-sky-lighting compliance.

Dark Sky Preservation Implementation 1.1.1: Review the current dark-sky lighting ordinance for consistency with dark-sky principle and current technology; identify possible updates. Consider amendments as necessary.

Dark Sky Preservation Principle 1.2: Promote the accreditation of North Fork Park as the world's 21st International Dark Sky Park, and encourage astro-, agri-, and ecotourism development.

Dark Sky Preservation Implementation 1.2.1: Evaluate current dark-sky sign ordinance for community character effectiveness and competitiveness with other Amenity West communities; identify possible updates.

*x with consideration  
to satisfy  
Be reasonable!  
Amen*

*-I like  
street  
lights  
No everyone  
agrees with  
the Dark Sky!*

## Past Action on this Item

No action has occurred on this item. The Planning Commission has discussed the Ogden Valley Lighting ordinance in two work sessions and one regular meeting.

## Noticing Compliance

A hearing for this item before the Planning Commission has been posted for public notice in compliance with UCA §17-27a-205 and UCA §17-27a-502 in the following manners:

- Posted on the County's Official Website
- Posted on the Utah Public Notice Website
- Published in a local newspaper

## Staff Recommendation

Staff recommends that the Planning Commission consider the text included as Exhibit B and Exhibit C and offer staff critical feedback for additional amendments. At a time that the Planning Commission is comfortable with the proposal, it could be passed to the County Commission with the following findings:

1. The changes are supported by, and are part of the execution of, the 2016 Ogden Valley General Plan.
2. The changes are necessary to reduce conflicting provisions in the Land Use Code.
3. The changes are necessary to provide clarity in the Land Use Code.
4. The clarifications will provide for a more efficient administration of the Land Use Code.
5. The changes will enhance the general health and welfare of County residents.

## Exhibits

- A. Summary, List, and Key to Proposed Changes.
- B. Proposed Changes [Track-Changes only from the version the Planning Commission reviewed on December 6, 2016].
- C. Proposed Changes [Clean Copy] – Ogden Valley Outdoor Lighting Ordinance.
- D. Proposed Changes [Track-Change Copy] – Ogden Valley Outdoor Lighting Ordinance.
- E. Land Use Code Revision Process Flowchart.
- F. Letter From Visit Ogden.
- G. Letter From Ogden Valley Starry Nights.

## Exhibit A: Summary, list, and key to proposed changes

The following code changes are being proposed to clarify that the Planning Commission is not the only land use authority over projects with natural hazards, and to provide clarity, remove redundancies, and include process steps and appeal provisions for natural hazards reviews.

This change addresses the following code sections:

§ 101-1-7. Definitions

§ 102-1: General provisions

§ 104-27: Natural hazards overlay districts

§ 108-7: Supplementary and qualifying regulations

§ 108-14: Hillside development review procedures and standards

Key to reading track changes:

Three periods (...) indicates that there are codes sections that have been left out of the proposed changes. These code sections will remain unchanged.

Language that has been added is shown in blue underline

~~Language that has been moved to a new location is shown in green double strikeout~~

~~Language that has been deleted is shown in red strikeout~~

Language that has been moved from an old location is shown in green double underline



DRAFT 12/27/16

Sec. 101-1-7. - Definitions.

When used in this Code, the following words and phrases have the meaning ascribed to them in this section, unless the context indicates a different meaning:

...

*Custom exempt meat cutting.* The term "custom exempt meat cutting" means the cutting, wrapping, and preparation of meat for human consumption; provided, however, that the source of meat shall be limited to animals that are part of one or more livestock operation(s) in Weber County, and/or wild game.

*Dark sky.* The term "dark sky" means a night-time sky that is substantially free of interference from artificial light.

*Dairy.* The term "dairy" means a commercial establishment for the manufacture or processing of dairy products.

...

*Glamorous camping (glamping), agri-tourism.* The term "agri-tourism glamorous camping (glamping)" means an agri-tourism use/activity that provides the opportunity for agri-tourists to rent, on a nightly basis, fully furnished tents and/or rustic cabin sites that are characterized by furnishings, amenities, and comforts offered by that of a luxury hotel room. Furnishings, amenities, and comforts may include but not be limited to, luxurious decor, beds, linens, baths, veranda, spa services, concierge, dining, and chef.

*Glare.* The term "glare" means light, originating from a direct artificial light source, or any light reflected off a reflective surface, that causes visual discomfort or reduced visibility.

*Grade, natural/existing (adjacent ground elevation).* The term "grade, natural/existing (adjacent ground elevation)" means the lowest point of elevation of the finished surface of the natural ground, paving or sidewalk within the area between the building and the property line or, when the property line is more than five feet from the building, between the building or structure and a line five feet from the building or structure.

...

*Landscape plan.* The term "landscape plan" means:

- (1) Detailed plans depicting the layout and design for landscaping, including, but not limited to location, height and materials of walls, fences, hedges and screen plantings;
- (2) Ground cover plantings or other surfacing to break monotony of building materials, concrete and asphalt;
- (3) Number, type and mature and planted size of all landscape plantings; method of irrigation, location of water meter, piping, pumps, timers, point of connection and any blow-out or winterizing system; location, type and size of any existing trees over four-inch caliper;
- (4) Location, type and size of any existing landscaping not planned for removal; location, type and size of any decorative lighting systems.

*Light, direct artificial.* The term "direct artificial light" means any light cast directly to an illuminated area from an artificial light source, as defined by this section, or from any surface on or within the artificial light source's luminaire that is intended to reflect, refract, or diffuse light from the artificial light source. This does not include light reflected, refracted, or diffused from other surfaces such as nonreflective surfaces on or within the luminaire, or the ground or adjacent walls, provided those surfaces are not primarily intended for the reflection, refraction, or diffusion of the artificial light source. See also Section 108-16-9 for a graphic depiction.

*Light pollution.* The term "light pollution" means any artificial light that is emitted either directly or indirectly by reflection that alters the appearance of the night-time sky; interferes with astronomical observations; interferes with the natural functioning of native wildlife, or disrupts the community character as defined in the applicable general plan for the area.

Comment [c1]: Check reference

DRAFT 12/27/16

47 *Light source, artificial.* The term "artificial light source" means the part of a lighting device that  
48 produces light. See also Section 108-16-9 for a graphic depiction.

Comment [c2]: Check reference

49 *Light trespass.* The term "light trespass" means the projection of any light from a direct artificial light  
50 outside the lot or parcel boundary or street right-of-way where the artificial light source is located, unless  
51 the projection outside the lot or parcel boundary or street right-of-way is intended, wanted, and lawfully  
52 permitted. See also Section 108-16-11 for a graphic depiction.

Comment [c3]: Check reference

53 *Lighting, outdoor.* The term "outdoor lighting" means the illumination of an outdoor area or object by  
54 any outdoor artificial light source. Outdoor lighting also includes the illumination of an outdoor area or  
55 object by direct artificial light projected from an indoor artificial light source through a window, door, or  
56 similar opening.

Comment [c4]: Check reference

Comment [c5]: See standards/exemptions in  
108-16-5

57 *Lighting, recreation facility.* The term "recreation facility lighting" means outdoor lighting used to  
58 illuminate the recreation activity area of a stadium, sports field or court, rink, ski area, swimming pool,  
59 theater, amphitheater, arena, or any similar use intended for recreational activity. See also Section 108-  
60 16-15 for a graphic depiction.

Comment [c6]: Check reference

61 *Livestock feed yard.* The term "livestock feed yard" means a commercial operation on a parcel of  
62 land where livestock are kept in corrals or yards for extended periods of time at a density which permits  
63 little movement and where all feed is provided for the purpose of fattening or maintaining the condition of  
64 livestock prior to their shipment to a stockyard for sale, etc.

Comment [c7]: Check reference

65 ...

66 *Qualified professional.* The term "qualified professional" means a professionally trained person with  
67 the requisite academic degree, experience and professional certification or license in the field or fields  
68 relating to the subject matter being studied or analyzed.

69 ...

70 *Sign area.* The term "sign area" means the area of a sign that is used for display purposes, including  
71 the minimum frame and supports. In computing sign area, only one side of back to back signs covering  
72 the same subject shall be computed when the signs are parallel or diverge from a common edge by an  
73 angle of not more than 45 degrees. In relation to signs that do not have a frame or a separate  
74 background, sign area shall be computed on the basis of the least rectangle, triangle or circle large  
75 enough to frame the display.

Comment [c8]: Corrected and moved to here.

76 *Sign face.* The term "sign face" means the area of a sign that is designed to present or convey a  
77 message or attract attention, exclusive of structural support members.

78 ...

79 *Sign.* The term "sign" means any object, device, display, or structure, or part thereof that is used to  
80 advertise, identify, display, direct or attract attention to an object, person, institution, organization,  
81 business, product, service, event, or location by any means, including, but not limited to words, letters,  
82 figures, designs, symbols, fixtures, colors, illumination, or projected images.

83 *Sign, advertising.* The term "advertising sign" means an off-premises sign 20 square feet or less in  
84 area.

85 *Sign, animated.* The term "animated sign" means a sign employing actual motion, the illusion of  
86 motion or light and/or color changes achieved through mechanical, electrical or electronic means.

87 *Sign, athletic field scoreboard.* The term "athletic field scoreboard sign" means a sign which is  
88 erected at a public or private park or public or private school for the purpose of providing game scores or  
89 other information about the game in progress. Advertising by the sign donor shall be limited to 50 percent  
90 of the total sign area.

91 ...

92 *Sign, conservation property.* The term "conservation property sign" means a sign that is placed on a  
93 parcel with a minimum area of ten acres that is encumbered by a conservation easement held by an  
94 organization or government entity as authorized by UCA §57-18-3.



DRAFT 12/27/16

95 ...

96 *Sign, development.* The term "development sign" means a temporary business sign identifying a  
97 construction project or subdivision development. The sign may contain the name of the project, name and  
98 an address of the construction firms, architect and developer.

99 ...

100 *Sign, freestanding (pole sign).* The term "freestanding sign " or "pole sign" means any sign supported  
101 by one or more poles or a support that is placed on or anchored in the ground and that is independent,  
102 unattached, or not braced from any building or other structure.

103 ...

104 *Sign, illuminated.* The term "illuminated sign" means a sign which has characters, letters, figures,  
105 designs, or outline illuminated by electric lights or luminous tubes as a part of the sign.

106 ...

107 *Sign, pole.* See sign, freestanding.

108 ...

## 109 CHAPTER 16. - OGDEN VALLEY OUTDOOR LIGHTING

### 110 Sec. 108-16-1. - Purpose and intent.

111 The purpose and intent of this chapter is to promote the community character of the Ogden Valley,  
112 as provided for in the Ogden Valley General Plan, by providing regulations and encouragement for the  
113 preservation of a dark sky. This chapter is also intended to promote the health, safety, and general  
114 welfare of Ogden Valley residents and visitors by:

- 115 (1) Reducing, eliminating, or preventing light trespass;
- 116 (2) Reducing, eliminating, or preventing unnecessary or inappropriate outdoor lighting;
- 117 (3) Reducing, eliminating, or preventing the effects of outdoor lighting on wildlife;
- 118 (4) Preventing unsightly and unsafe glare;
- 119 (5) Promoting energy conservation;
- 120 (6) Maintaining nighttime safety, utility, and security;
- 121 (7) Encouraging a minimal light footprint of land uses in order to reduce light pollution; and
- 122 (8) Promoting and supporting astrotourism and recreation, including the pursuit or retention of
- 123 accreditation of local parks by the International Dark Sky association.

### 124 Sec. 108-16-2. - Applicability.

125 (a) *New outdoor lighting.* ~~All~~ Except as provided in subsection (c) below, all outdoor lighting installed  
126 after ~~January~~ March 1, 2017, shall conform to the requirements established by this chapter. This  
127 chapter does not apply to indoor lighting except as defined by "outdoor lighting" in Section 101-1-7.

128 (b) *Existing outdoor lighting.* ~~All~~ Except as provided in subsection (c) below, all existing outdoor lighting  
129 that does not meet the requirements of this chapter and is not exempted by this chapter shall be  
130 considered a nonconforming use and as such shall be phased out as outlined in Section 108-16-7 of  
131 this chapter.

132 ~~(e)~~ (c) *Lighting for residential use.* The lighting standards of this section are not mandatory for a single-  
133 family, two-family, or three-family dwelling. The county may employ educational methods to  
134 encourage voluntary compliance for these residential uses. For the purpose of facilitating education  
135 and for tracking the effect of not applying a mandate, the county may require submittal of final  
136 lighting plans for these residential uses pursuant to 108-16-6(b)(1); if required, final lighting plans

Comment [c9]: New definition in 101-1-7.

Comment [c10]: Check reference.

Comment [c11]: Looking for thoughts about this...

DRAFT 12/27/16

137 shall be submitted either at the time of application submittal or prior to certificate of occupancy, at the  
 138 Planning Director's determination. The county may also require the applicant to sign an  
 139 acknowledgement of review of educational materials.

Comment [c12]: Thoughts?

140 (d) *Conflict.* Should this chapter be found to be in conflict with other sections of this code, the more  
 141 restrictive shall apply.

#### 142 Sec. 108-16-3. - General standards.

143 (a) *Light shielding and direction.* Unless specifically exempted in Section 108-16-5, all outdoor lighting  
 144 shall be fully shielded and downward directed in compliance with the following, examples of which  
 145 are graphically depicted in Section 108-16-10:

Comment [c13]: Check reference

- 146 (1) No artificial light source shall project direct artificial light into the night-time sky;
- 147 (2) No artificial light source shall be placed at a location, angle, or height that creates a light  
 148 trespass, as defined in Section 101-1-7 and graphically depicted in Section 108-16-11.
- 149 (3) The shielding shall be made of completely opaque material such that light escapes only through  
 150 the bottom. Shielding that is translucent, transparent, has perforations or slits of any kind, or  
 151 allows light to escape through it in any other manner is not permitted.
- 152 (4) Shielding may be attained by light fixture design, building design, or other site design features  
 153 such as fencing, walls, landscaping, or other screening, provided it is in strict compliance with  
 154 (1) through (3) of this subsection.

155 (b) *Light color.* Unless otherwise specified in this chapter, the color of any outdoor lighting artificial light  
 156 source shall be equal to or less than 3000K, in accordance with the standard Kelvin temperature  
 157 chart, as graphically depicted in Section 108-16-12.

Comment [c14]: Check reference

#### 158 Sec. 108-16-4. - Specific standards.

159 In addition to the general standards of Section 108-16-3, The following are specific standards that  
 160 apply to all commercial, industrial, manufacturing, public and quasi public, institutional, multifamily,  
 161 recreation, and resort uses:

Comment [c15]: Measurable

162 (1) *Light curfew.* Unless exempt in Section 108-16-5, and except for residential uses, all outdoor  
 163 lighting shall be turned off by 10:00pm, or, if applicable, within one hour after the close of  
 164 business, whichever is later, except the following:

- 165 a. Lighting to illuminate the entrance of the building;
- 166 b. Safety lighting of parking lots and pedestrian areas;
- 167 c. Lighting necessary for after-hours business.

168 (2) *Flashing or flickering light.* No flickering or flashing lights shall be permitted.

169 (3) *Canopy lighting.* All direct artificial light sources shall be sufficiently recessed so as not to  
 170 project direct light greater than five feet from the outside perimeter of the canopy, and shall not  
 171 produce more than a ratio of 8 lumens per square foot of canopy area. This ratio shall be  
 172 calculated by combining the total lumen output of each artificial light source and dividing by the  
 173 square footage of the canopy. See Section 108-16-13 for a graphic depiction.

Comment [c16]: Measurable.

The rough equivalent of "rural light" from the IDA model code.

Comment [c17]: Check reference

174 (4) *Parking lot lighting.* All artificial light sources in open-air parking lots shall not exceed a ratio of  
 175 two lumens per square foot of parking lot area. This ratio shall be calculated by combining the  
 176 total lumen output of each artificial light source divided by the square footage of the parking lot  
 177 area. See Section 108-16-14 for a graphic depiction.

Comment [c18]: Check reference

178 (5) *Recreation facility lighting.* Recreation facility lighting, as defined in Section 101-1-7, shall  
 179 comply with the following:



DRAFT 12/27/16

- a. The lighting for the recreation activity area shall only be directed onto the area where the recreation activities are occurring. It shall not be allowed to illuminate surfaces that are not essential to the function of the recreation activity.
- b. The lighting shall not exceed a ratio of 10 lumens per square foot of recreation activity area. This ratio shall be calculated by combining the total lumen output of each artificial light source divided by the square footage of the recreation activity area. See Section 108-16-15 for a graphic depiction.
- c. The recreation activity area shall be lit only when it is in use.
- d. The light color standard of 108-16-3 does not apply to lighting for the recreation activity area.

Comment [c19]: This is typical of non-professional/non-semi-professional courts/fields/etc.

Comment [c20]: Discussed standard with ski areas. It is more than enough for their purposes.

Comment [c21]: Check reference

(6) Sign lighting. Sign lighting shall comply with the requirements of 110-2-12.

#### Sec. 108-16-5. - Exemptions.

The following artificial light sources are exempt from the requirements of this chapter:

- (1) ~~Covered-deck-and-patio~~Agricultural lighting. Lighting for agricultural uses.
- (2) *Federal and state flag lighting.* The outdoor lighting of a United States or State of Utah official flag, provided it is in compliance with the following:
  - a. The light shall be downward directed from the top of the flag pole;
  - b. The light shall be as narrow a beam as possible and aimed and shielded to illuminate, to the best effort practicable, only the area which the flag occupies in all wind conditions; and
  - c. The light level shall be minimized to create the least amount of impact on the dark sky, while still offering noticeable illumination of the flag;
- (3) *Federal and state facilities lighting.* Federal and state facilities are exempt from the requirements of this chapter. However, they are encouraged to cooperate and to coordinate with the County the construction of their facilities in compliance with this chapter;
- (4) *Fossil fuel lighting.* Fossil fuel light, produced directly by the combustion of natural gas or other utility-type fossil fuels;
- ~~(5) Historic antique lighting. Outdoor lighting devices designed to preserve the historic nature of a site, based on historically accurate recreations of antique light devices, provided the light output of each artificial light source is equal to or less than nine hundred lumens;~~
- (5) Holiday or festive lighting. Holiday or festive outdoor lighting for residential uses, provided it is in compliance with the following:
  - a. That the lighting shall not create a hazard or glare nuisance; and
  - b. That the lighting shall be temporary in nature and not permanently installed. It shall be removed within a reasonable time after the end of the holiday or festive event, but at least once per year.
- ~~(56) Low output light source.~~ An artificial light source having an output equal to or less than one hundred five lumens, provided that the cumulative lumen output of all low output light sources shall not exceed a ratio of one and a half lumens per square foot of cumulative area intended to be illuminated. This ratio shall be calculated by combining the total lumen output of each low output light source divided by the square footage of the area intended to be illuminated. Each low output light source shall be distributed across the area intended to be illuminated and not organized in a focused location;
- ~~(67) Mobile lighting.~~ Lighting affixed to a vehicle, provided the lighting is not intended for the stationary illumination of an area;

Comment [c22]: Measurable

Comment [c23]: Measurable

Comment [c24]: 7 watts incandescent bulbs

This will allow some flexibility for pathway lights and string lighting.

Comment [c25]: Measurable

Comment [c26]: Measurable

DRAFT 12/27/16

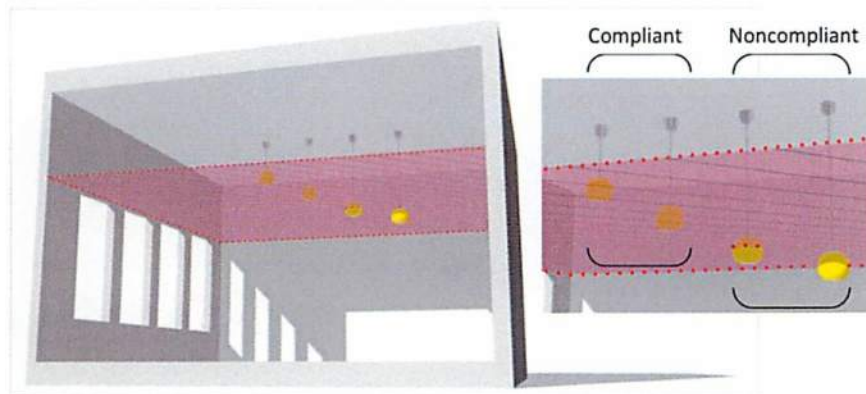
(7) *Motion sensor controlled light source.* An artificial light source that has a light output equal to or less than nine hundred lumens and is controlled by a motion sensor, provided it is in compliance with the following:

- a. That the motion sensor is set to turn the artificial light source off 10 minutes after the last detection of motion; and
- b. That the artificial light source is sufficiently shielded in a manner that prevents glare on adjacent properties or roadways;

~~(8) *Outdoor lighting projected from indoors.* An artificial light source that is projected from indoors to outdoors through windows, doors, or similar openings, for:~~

- ~~a. Residential and agricultural uses; and~~
- ~~b. All other uses, provided that this exemption only applies to direct artificial light when it passes through a cumulative area of those windows, doors, or similar openings that is equal to or less than 50 percent of the face of the building, excluding roof area, on which those windows, door, or similar openings are located.~~

(9) *Outdoor lighting projected from indoors.* An artificial light source that is projected from indoors to outdoors through windows, doors, or similar openings, provided that this exemption only applies to direct artificial light when it is positioned above an imaginary line that extends horizontally from the top of any window, door, or similar opening. Light-blocking shades, blinds, or similar coverings may be used to satisfy this standard. In the following example the two pendant lights on the left are above the horizontal, while the two pendant lights to the right extend below the horizontal and are not permitted:



(10) *Safety or security lighting.* For the sole purpose of mitigating legitimate and verifiable safety or security hazards, the Land Use Authority may exempt an artificial light source if it is shown to be necessary. The Land Use Authority may apply reasonable conditions to ensure optimal compliance with the purpose and intent of this chapter. Evidence demonstrating that it is necessary shall be one or both of the following:

- a. Submitted proof of lighting requirements from a property insurance company that demonstrates that compliance with this chapter will render the property uninsurable. The minimum amount of lighting required by the property insurance company shall be considered the maximum for the purposes of this chapter; or

Comment [c27]: 60 watt incandescent

Comment [c28]: Measurable

Comment [c29]: Measurable



DRAFT 12/27/16

255 b. Submitted reasonable research findings, from a qualified professional, as defined by  
256 Section 101-1-7, that offer a compelling argument for the need for the exemption.  
257 However, if the Land Use Authority is aware of other research findings that refute what is  
258 submitted, then the Land Use Authority must determine which research findings are more  
259 persuasive under the circumstances. If the Land Use Authority grants the exemption, then  
260 the minimum amount of lighting necessary to ensure appropriate safety or security, as  
261 recommended by the qualified professional, shall be considered the maximum for the  
262 purposes of this chapter;

263 ~~(10) Special~~ <sup>(11)</sup> Occasional event lighting. Outdoor lighting intended for an ~~an special~~ occasional  
264 event, such as a wedding, party, social gathering, or other similar event that occurs on an  
265 occasional basis, provided it is in compliance with the following:

266 a. Occasional event lighting shall be turned off by 10:30pm and any remaining lighting shall  
267 comply with this chapter; and

Comment [c30]: Measurable

268 b. Occasional events shall not occur more than twice per month;

Comment [c31]: Measurable

269 <sup>(12)</sup> Underwater lighting. Underwater lighting in a swimming pool or other water feature provided it is  
270 not intended to illuminate features above water;

271 ~~(12)~~ <sup>(13)</sup> Temporary public agency lighting. Temporary outdoor lighting in use by law enforcement  
272 or a government agency or at their direction;

273 ~~(13)~~ <sup>(14)</sup> Tower lighting. Tower lighting required by the FAA or the FCC, provided that it shall not  
274 exceed the minimum requirements of those agencies. Collision markers shall have a dual mode  
275 for day and night to minimize impact to the night sky and migrating birds; and

276 ~~(14)~~ <sup>(15)</sup> Traffic control devices. Traffic control devices and signals.

277

#### 278 Sec. 108-16-6. - Procedures for compliance.

279 (a) *Applications*. Any application for a permit or approval required by this Land Use Code shall contain  
280 evidence that the proposed work complies with this chapter.

281 (b) *Contents of application or submittal*.

282 (1) In addition to the specific application requirements elsewhere in this Land Use Code, the  
283 application submittal shall contain the following:

284 a. Plans indicating the location of all artificial light sources on the premises, including their  
285 height above the ground.

286 b. Description of each artificial light source device, and supporting structure. This description  
287 may include, but is not limited to, device specifications from the manufacturer, drawings,  
288 details, and cross sections, when available.

289 (2) The required plans and descriptions set forth in subsection (b)(1) of this section shall be  
290 complete and shall be presented in a manner that clearly demonstrates compliance with this  
291 chapter. The Land Use Authority may require the applicant to submit photometric schematics  
292 and attestation from a qualified professional that the submittal complies with this chapter.

#### 293 Sec. 108-16-7. – Required replacement of nonconforming outdoor lighting.

294 After the effect of this chapter, which is March 1, 2017, all outdoor lighting that does not comply with  
295 the requirements of this chapter shall be considered nonconforming outdoor lighting. All nonconforming  
296 outdoor lighting shall be phased out in accordance with the following schedule:

297 (1) *Lighting conversion*. Any nonconforming outdoor artificial light source shall be terminated,  
298 replaced, or retrofitted to conform to the requirements of this chapter within seven years after  
299 the effect of this chapter;

Comment [c32]: Measurable



DRAFT 12/27/16

- 300 (2) *Lighting replacement.* The replacement of any nonconforming outdoor artificial light source shall  
301 comply with the requirements of this chapter;
- 302 (3) *Building exterior modification.* When the replacement of a building's exterior materials exceeds  
303 25 percent of the building's exterior area, excluding roof area, whether by a single modification  
304 project or by an accumulation of separate modification projects, all nonconforming outdoor  
305 lighting on or within 25 feet of the building shall be brought into compliance with the  
306 requirements of this chapter. This shall not include repainting or re-roofing,
- 307 (4) *Building expansion.* When a building's expansion exceeds the threshold established in this  
308 subsection, whether by a single expansion project or by an accumulation of separate expansion  
309 projects, all nonconforming outdoor lighting on or within 25 feet of the building shall be brought  
310 into compliance with the requirements of this chapter. The established threshold of expansion  
311 shall be the smaller of the following:
- 312 a. 25 percent of the total area of the building as it exists on March 1, 2017; or  
313 b. 2,500 square feet; and
- 314 (5) *Site improvements.* When a site improvement which requires a land use permit, conditional use  
315 permit, or design review approval, modifies an area that exceeds the threshold established in  
316 this subsection, whether by a single modification project or by an accumulation of separate  
317 modification projects, all nonconforming outdoor lighting on the premises shall be brought into  
318 compliance with the requirements of this chapter. The established threshold of modification  
319 shall be the smaller of the following:
- 320 a. 25 percent of the site area; or  
321 b. 20,000 square feet.

Comment [c33]: Measurable

Comment [c34]: Measurable

Comment [c35]: Measurable

Comment [c36]: Measurable

Comment [c37]: Measurable

Comment [c38]: Measurable

Comment [c39]: Measurable

322 **Sec. 108-16-8. – Violations and enforcement.**

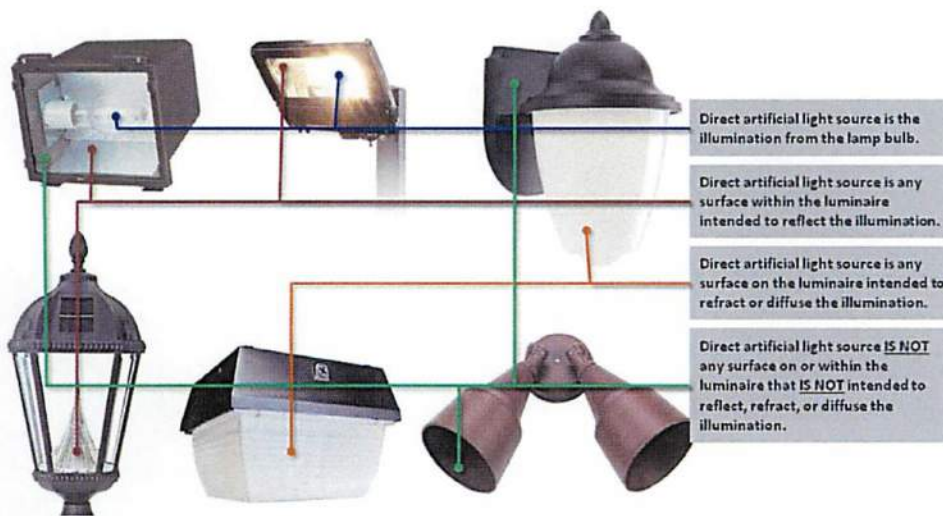
- 323 (a) *Violations.* The following constitute violations of this chapter:
- 324 (1) The installation, maintenance, or operation of any outdoor artificial light source not in  
325 compliance with the provisions of this chapter.
- 326 (2) The alteration of any outdoor artificial light source after a certificate of occupancy has been  
327 issued without the review and approval of the Land Use Authority when such alteration does not  
328 conform to the provisions of this chapter.
- 329 (3) Failure to shield, correct, or remove lighting that is installed, operated, maintained or altered as  
330 required by this chapter.
- 331 (b) *Enforcement.* Violations of this chapter are subject to enforcement and penalties as outlined in this  
332 Land Use Code Section 101-1-13. Unless the violation constitutes a safety hazard, enforcement of a  
333 violation of this chapter shall first be addressed as follows:
- 334 (1) A courtesy letter shall be sent to the land owner that suggests that there may be noncompliant  
335 outdoor lighting on the premises. A second and third courtesy letter shall be sent at least 20  
336 calendar days after the previous courtesy letter if a previous courtesy letter does not either  
337 cause the resolution of the violation or cause the landowner to initiate resolution with the  
338 County. Educational information about how to appropriately comply with this chapter shall also  
339 be sent and a method of contacting the county for discussion shall be provided in each courtesy  
340 letter. The third courtesy letter shall state that it is the last courtesy letter, and future contact will  
341 be in the form of a notice to comply.
- 342 (2) No sooner than 30 days after the third courtesy letter is sent, if it did not either cause the  
343 resolution of the violation or cause the landowner to initiate resolution with the County, a notice  
344 to comply shall be sent to the land owner. The notice shall include, with specificity, the violation,  
345 and shall give the landowner at least 30 days to bring the property into compliance. The notice  
346 shall also include educational information about how to appropriately comply with this chapter.



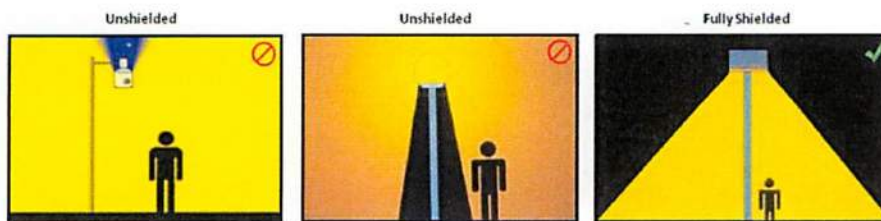
DRAFT 12/27/16

- (3) If a landowner initiates resolution of a violation of this chapter with the County, the County shall give the landowner at least six months to comply with this chapter provided, however, that it is clearly demonstrated that good faith efforts to resolve the violation can be implemented within the six month period.
- (4) If, after steps 1-3 of this subsection have been satisfied, a landowner fails to initiate resolution of a violation of this chapter, or fails to comply within six months after a resolution has been initiated, typical enforcement measures shall be employed. Additionally, the final approval of current or future plans, the issuance of a certificate of occupancy, or the acceptance of new applications authorized by this Land Use Code may be withheld until compliance with this chapter is demonstrated.

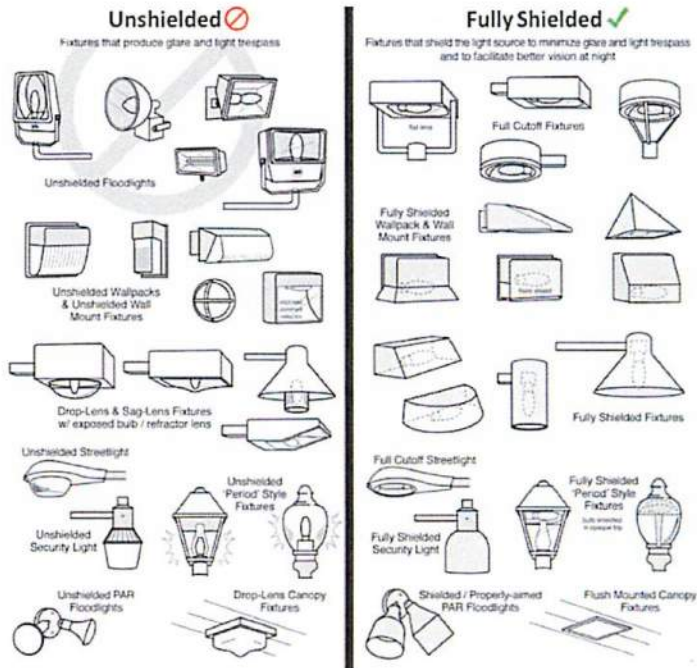
Sec. 108-16-9. – Examples of direct artificial light.



Sec. 108-16-10. – Examples of unshielded and shielded light sources.

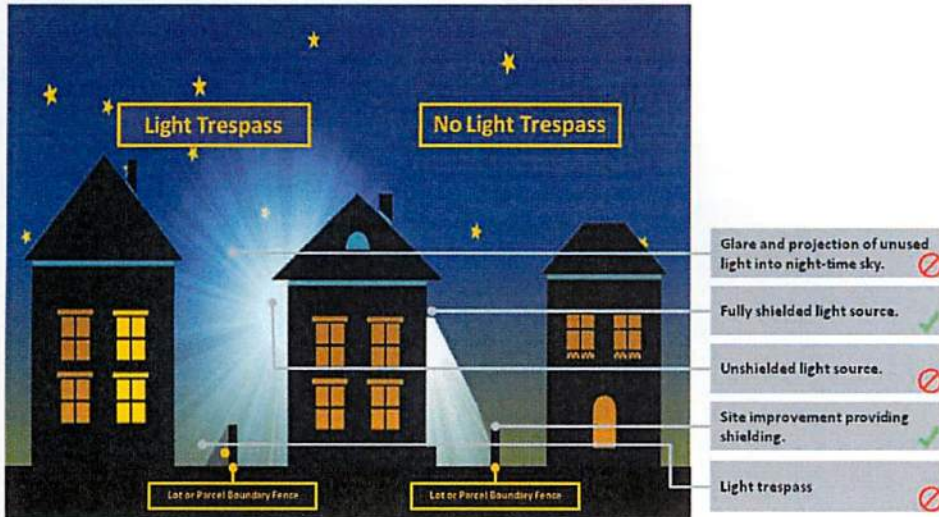


DRAFT 12/27/16



361  
362

Sec. 108-16-11. – Example of light trespass.

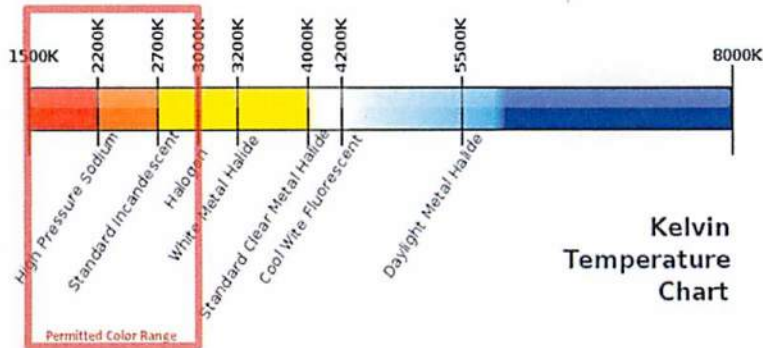


363

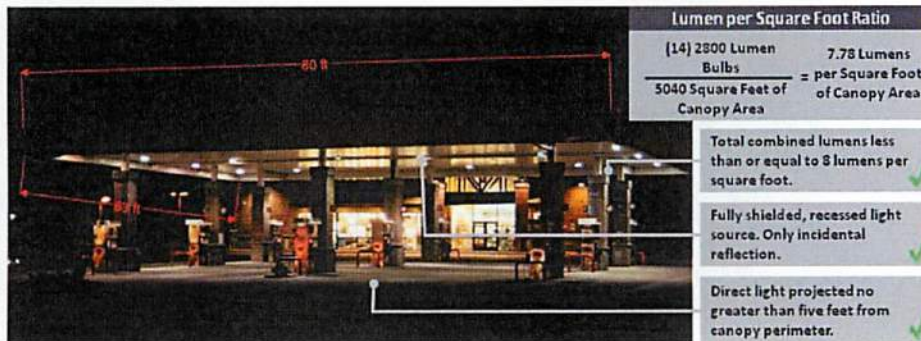


DRAFT 12/27/16

364 Sec. 108-16-12. – Standard Kelvin temperature chart.



365  
366 Sec. 108-16-13. – Example of canopy lighting.



367  
368 Sec. 108-16-14. – Example of parking lot lighting.



369  
370 Sec. 108-16-15. – Example of recreation facility lighting.

DRAFT 12/27/16



371

372 ...

## 373 CHAPTER 2. - OGDEN VALLEY SIGNS

374 ...

### 375 Sec. 110-2-2. - Applicability.

376 (a) *Permit required.* No person shall erect, alter or relocate any sign without first obtaining a land use  
377 permit, and meeting the standards set forth in this section. Signs conforming to the requirements of  
378 this section which identify seasonal business may be removed for the seasons during which the  
379 business is not in operation, and may be reinstalled without a new permit. All applications for land  
380 use permits shall be accompanied by plans, designs, specifications and drawings stating specifically  
381 all dimensions, lighting (see also Section 108-16-6), colors and plan of installation stating clearances  
382 and setbacks. Land use permits expire six months after issuance if the sign is not erected or altered  
383 pursuant to the permit.

384 ...

### 385 Sec. 110-2-4. - Nonconforming signs.

386 ~~A sign may be reinstalled which duplicates the original nonconforming sign in dimensions and~~  
387 ~~location. Any changes in size or location shall require conformance to this chapter and the current lighting~~  
388 ~~ordinance. After the effect of this chapter, which is March 1, 2017, any sign that does not comply with the~~  
389 ~~requirements of this chapter shall be considered a nonconforming sign. A nonconforming sign that is not~~  
390 ~~defined as a billboard under UCA 17-27a-103 shall be phased out in accordance with the following~~  
391 ~~schedule:~~

392 (1) Sign conversion. Any nonconforming sign shall be terminated, replaced, or retrofitted to conform  
393 to the requirements of this chapter within seven years after the effect of this chapter;

394 (2) Sign replacement. The replacement of any nonconforming sign shall comply with the  
395 requirements of this chapter;

396 (3) Building exterior modification. When the replacement of a building's exterior materials exceeds  
397 25 percent of the building's exterior area, excluding roof area, whether by a single modification  
398 project or by an accumulation of separate modification projects, all nonconforming signs on or  
399 within 25 feet of the building shall be brought into compliance with the requirements of this  
400 chapter. This shall not include repainting or re-roofing.

Comment [c40]: This is all borrowed from the phase-out in the proposed lighting chapter.

Comment [c41]: Measurable

Comment [c42]: Is the seven-year phase out desired for signage? Maybe just paragraphs 2-5 will do the trick?

Comment [c43]: Measurable

Comment [c44]: Measurable



DRAFT 12/27/16

401 (4) Building expansion. When a building's expansion exceeds the threshold established in this  
402 subsection, whether by a single expansion project or by an accumulation of separate expansion  
403 projects, all nonconforming signs on or within 25 feet of the building shall be brought into  
404 compliance with the requirements of this chapter. The established threshold of expansion shall  
405 be the smaller of the following:

Comment [c45]: Measurable

406 a. 25 percent of the total area of the building as it exists on March 1, 2017; or

Comment [c46]: Measurable

407 b. 2,500 square feet; and

Comment [c47]: Measurable

408 (5) Site improvements. When a site improvement which requires a land use permit, conditional use  
409 permit, or design review approval, modifies an area that exceeds the threshold established in  
410 this subsection, whether by a single modification project or by an accumulation of separate  
411 modification projects, all nonconforming signs on the premises shall be brought into compliance  
412 with the requirements of this chapter. The established threshold of modification shall be the  
413 smaller of the following:

414 a. 25 percent of the site area; or

Comment [c48]: Measurable

415 b. 20,000 square feet.

Comment [c49]: Measurable

416 ...

417 Sec. 110-2-8. - Prohibited signs.

418 ...

419 (7) Changeable copy signs. Electronic changeable copy signs, except as permitted in 110-2-  
420 9(b)(13). Manual changeable copy signs except as permitted in section 110-2-10, ~~Special~~  
421 ~~purpose signs.~~

422 ...

423 Sec. 110-2-9. - Other signs.

424 ~~In addition to being regulated by other ordinances and state or federal law, the following signs are only~~  
425 ~~regulated in the following manner:~~

426 (a) The following signs are allowed in any zone:

427 (1) Conservation property sign. A conservation property sign, as defined in Section 101-1-7, may  
428 be erected on any property complying with the minimum provisions of the definition. The sign  
429 shall either be a monument sign or a freestanding sign (pole sign) in compliance with the  
430 following:

431 a. Monument sign. For a monument sign the width shall be no greater than ten feet and the  
432 height shall be no greater than eight feet, with a sign face no greater than 24 square feet.

433 b. Freestanding sign (pole sign). For a freestanding sign (pole sign) the width shall be no  
434 greater than eight feet and the height shall be no greater than ten feet with a sign face no  
435 greater than 24 square feet. The sign face shall be mounted between the sign poles, which  
436 shall be constructed of timbers that measure at least eight inches by eight inches and  
437 extend from the ground to the top of the sign face. The top of the sign face and the bottom  
438 of the sign face shall be completely bounded by timbers that have a minimum vertical  
439 height of eight inches.

440 c. Example. The following images are examples of each:



DRAFT 12/27/16



(2) Gate or arch sign. A gate or arch sign situated over the primary entry of a lot or parcel of land, provided that the sign face does not exceed 30 square feet and that the sign provides a vertical clearance of at least 14.5 feet from the driving surface, not to exceed 18 feet in height and a minimum passable width of 20 feet, not to exceed 30 feet pole to pole. Depth of the Arch shall not exceed two feet. A land use permit, to verify compliance with applicable standards, and a building permit to verify proper installation of footings and to ensure wind tolerance, is required.

Comment [c50]: Moved from list below

(3) Subdivision entry signs. An approved, recorded subdivision may locate one sign at each entrance. The sign shall be a ground or monument sign, and shall meet all specifications/requirements for monument signs in Section 110-2-5. In the event the location of the subdivision entry sign is in a zone not governed by Section 110-2-5, the dimensions of the sign shall be no greater than allowed in the AV-3 zone. The planning commission shall approve location and design style. A double entry sign may be approved by the planning commission where there is a divided center island entry street.

Comment [c51]: Moved from list below

(b) The following signs are allowed in any zone and are exempt from the standards of Section 110-2-12(a):

(1) Addressing numbers. Addressing numbers shall be no more than 12 inches in height. An addressing number sign is also exempt Section 110-2-12(b)(8).

(2) Athletic field scoreboard signs. An athletic field scoreboard sign shall not exceed 120 square feet in any zone. An athletic field scoreboard sign is also exempt from Section 110-2-12(b)(3). The planning commission shall approve the location of all scoreboard signs in all zones except commercial and manufacturing zones.

(3) Business signs. No more than one "Open/Closed" and one "Vacancy/No Vacancy" sign, one "Hours of Operation" sign, and one "Credit Card Acceptance" sign, not to exceed a total of four square feet in area, displayed for each business.

~~(4) Gate or arch sign.~~ A gate or arch sign situated over the primary entry of a lot or parcel of land, provided that the sign face does not exceed 30 square feet and that the sign provides a vertical clearance of at least 14.5 feet from the driving surface, not to exceed 18 feet in height and a minimum passable width of 20 feet, not to exceed 30 feet pole to pole. Depth of the Arch shall not exceed two feet. A land use permit, to assure standards are in compliance, and a building permit for proper installation of footings and to ensure wind tolerance, are required.

(45) Governmental flags. Official governmental flags of the United States, the State of Utah or Weber County, and which are properly displayed, and provided they are not mounted on a roof or atop other signs. One corporate flag may be displayed along with a proper display of any or all of the official flags listed in this subsection. Flagpole height may not exceed the maximum height allowed in the zone for which it is being placed. If over the height allowed in the zone, the flagpole shall have a conditional use permit approved by the planning commission.



DRAFT 12/27/16

- 478 Governmental uses, such as libraries and schools, shall be exempt from height requirements of  
479 this sub-section.
- 480 (56) *Grand opening signs.* On a one-time basis, a business establishment shall be permitted one  
481 banner not to exceed 12 square feet, to be displayed for a period of not more than 30 days.
- 482 (67) *Guidance signs.* Guidance and other informational signs authorized by the Utah Department of  
483 Transportation or other governmental agency. A guidance sign is exempt from all of the  
484 standards of Section 110-2-12.
- 485 (78) *Historical signs.* Historical name signs for sites and/or structures designated by the board of  
486 county commissioners as having historical significance to the county (and as identified in the  
487 Ogden Valley Master Plan).
- 488 (89) *Murals.* Murals, when depicted on the sides or rear of a building or storefront, provided that the  
489 mural has no connection or advertising context to any business conducted or any product or  
490 service offered therein.
- 491 (109) *Nameplate signs.* Nameplate signs not to exceed four square feet that identify the  
492 occupants/owners and/or home occupation of a residential property. ~~Larger residential signs~~  
493 ~~shall comply with the provisions of this Land Use Code.~~
- 494 (1110) *Private warning signs.* Private warning signs, provided they do not exceed four square  
495 feet.
- 496 (1211) *Signs on vehicles.* Signs for business identification which may include name, address,  
497 and telephone number, not to exceed two feet by three feet upon the side door of a vehicle.
- 498 (1312) *Statuary and sculptures.* Freestanding statuary and sculptures which are considered to  
499 be works of art and which are placed on private property clearly for the benefit and interest of  
500 the general public.
- 501 ~~(14) Subdivision entry signs. An approved, recorded subdivision may locate one entry sign at each~~  
502 ~~entrance. The sign shall be of the monument type and meet all specifications/requirements for~~  
503 ~~monument signs in section 110-2-5. Allowable signs by zoning district. The name of the~~  
504 ~~subdivision shall be the only text included on said sign. The planning commission shall approve~~  
505 ~~location and design style. A double entry sign may be approved by the planning commission~~  
506 ~~where there is a divided center island entry street.~~
- 507 (4513) *Traffic signs.* All signs erected in or adjacent to a public right-of-way by a public agency  
508 or in a private road right-of-way for the purpose of controlling or directing traffic. A traffic sign is  
509 exempt from all of the standards of Section 110-2-12.
- 510 ...
- 511 Sec. 110-2-11. - Temporary sign usage.
- 512 ...
- 513 (3) *Additional standards.* The following table applies to temporary sign use:

DRAFT 12/27/16

| Sign Type                                    | General Standards in all Zones                             |                                 |  | Specific Standards for the Agricultural, Forest and Residential Zones |   |   | Specific Standards for the Commercial, Manufacturing and Resort Zones |   |   |
|--|--|---------------------------------|--|---|---|---|---|---|---|
|  | Display Period   | Removal Required 3 Days After   | Land Use Permit or Special Event Permit Required | Maximum Area per Sign Face  | Maximum Height of Freestanding Signs (includes support structure) | Number of Signs Permitted per Sign Type | Maximum Area per Sign Face  | Maximum Height of Freestanding Signs                    | Number of Signs Permitted per Sign Type   |
| Occasional Signs:                            |  |                                 |  |   |   |   |   |   |   |
| Campaign signs                               | 60 days prior to the election                              | Completion of the election      | N  | 32 square feet  | 6 feet  | No limit                                | 32 square feet  | 8 feet  | No limit  |
| Construction signs                           | Duration of construction                                   | Completion of construction      | N  | 32 square feet  | 6 feet  | 1 per street frontage                   | 64 square feet  | 12 feet   | 1 per street frontage   |
| Property/real estate sign                    | Duration of listing  | Closing/lease commencement date | N  | 8 square feet   | 6 feet  | 1 per street frontage                   | 64 square feet  | 12 feet   | 1 per street frontage   |
| Short-term vendors § 108-13-3                | 120 days   | End of event                    | Y/LUP  | Not Applicable  | Not Applicable  | Not Applicable                          | 16 square feet  | 6 feet if set in the ground or anywhere on the building | 2 total per frontage, either a ground sign or on vendor trailer, mobile store, tent, or kiosk |
| Temporary outdoor sales § 108-13-4           | Per state code if applicable or 30 days prior to the event | End of event                    | Y/LUP  | Not Applicable  | Not Applicable  | Not Applicable                          | 16 feet   | 6 feet if set in the ground or anywhere on the building | 2 per street frontage   |
| Temporary real estate sales office           | Duration of construction                                   | Completion of construction      | Y/LUP  | 32 square feet  | 6 feet  | 1 per street frontage                   | Not Applicable  | Not Applicable  | Not Applicable  |
| Temporary real estate sales office wall sign | Duration of construction                                   | Completion of construction      | Y/LUP  | 20 square feet  | N/A   | 1 sign attached to the office           | Not Applicable  | Not Applicable  | Not Applicable  |



DRAFT 12/27/16

| Continued...   | General Standards in all Zones |              |       | Specific Standards for the Agricultural, Forest and Residential Zones |         |   | Specific Standards for the Commercial, Manufacturing and Resort Zones |         |  |
|--|--------------------------------|--------------|-------|---|---------|---|---|---------|--|
| <b>Seasonal Signs:</b>   |                                |              |       |   |         |   |   |         |  |
| Farmer's markets<br>§ 108-13-5   | June through<br>October        | End of event | Y/LUP | 32 square feet  | 10 feet | 1 per street<br>frontage                                      | 32 square feet  | 10 feet | 1 per street<br>frontage   |
| Fruit and vegetable stand<br>§ 104-5-3 (8)                                       | June through<br>October        | End of event | Y/LUP | 16 square feet  | 10 feet | 1 per street<br>frontage                                      | 32 square feet  | 10 feet | 1 per street<br>frontage   |
| Political sign   | No limit                       | No limit     | N     | 16 square feet  | 10 feet | 1 per street<br>frontage                                      | 32 square feet  | 10 feet | 1 per street<br>frontage   |
| <b>Event Signs:</b>  |                                |              |       |   |         |   |   |         |  |
| Public event sign  | 30 days prior to<br>the event  | End of event | Y/SEP | 4 square feet   | 3 feet  | 1 per street<br>frontage                                      | 4 square feet   | 3 feet  | 1 per street<br>frontage   |
| Public event banner (on public<br>property, over public streets or<br>sidewalks) | 30 days prior to<br>the event  | End of event | Y/SEP | 12 square feet  | N/A     | 1 per street<br>frontage                                      | 12 feet   | N/A     | 1 per street<br>frontage   |
| Public event directional sign  | 30 days prior to<br>the event  | End of event | Y/SEP | 8 square feet   | 4 feet  | No limit off-<br>premises<br>directional<br>signs             | 8 square feet   | 4 feet  | No limit off-<br>premises<br>directional<br>signs                  |
| Special event sign   | 60 days prior to<br>the event  | End of event | Y/SEP | 16 square feet<br>on-site   | 6 feet  | No limit onsite<br>signs, either<br>ground or<br>banner signs | 16 square feet<br>onsite  | 6 feet  | No limit on-<br>site signs,<br>either ground<br>or banner<br>signs |
| Special event banner (on public<br>property)                                     | 30 days prior to<br>the event  | End of event | Y/SEP | 12 square feet  | N/A     | 1 per street<br>frontage                                      | 12 square feet  | N/A     | 1 per street<br>frontage   |
| Special event directional sign   | 1 day prior to the<br>event    | End of event | Y/SEP | 8 square feet<br>offsite  | 4 feet  | No limit off-<br>premises<br>directional<br>signs             | 8 square feet<br>offsite  | 4 feet  | No limit off-<br>premises<br>directional<br>signs                  |
| Special event off-site sign  | 30 days prior to<br>the event  | End of event | Y/SEP | 32 square feet  | 10 feet | 2 offsite per<br>event either a<br>ground sign or<br>banner   | 32 square feet  | 10 feet | 2 offsite per<br>event either a<br>ground sign or<br>banner        |

DRAFT 12/27/16

514 **Sec. 110-2-12. - Sign materials and display standards.**

515 |

516 (a) Sign materials. All materials used to construct signs, supports or fasteners shall conform to the  
517 following standards:

518 (1) Signs may be constructed of painted, stained, sandblasted or carved wood, brick, stone,  
519 textured concrete or similar material. Glass (including plexi-glass), metal, or metallic leaf, which  
520 is painted, anodized, or otherwise treated to prevent reflective glare may also be used. Copper,  
521 brass, wrought iron, and other metals may remain untreated and allowed to develop a natural  
522 patina.

523 (2) Support structures may be constructed of painted, stained, sandblasted or carved wood, brick,  
524 stone, textured concrete or similar material. Glass, metal, or metallic leaf, which is painted,  
525 anodized, or otherwise treated to prevent reflective glare may also be used. Copper, brass,  
526 wrought iron, and other metals may remain untreated and allowed to develop a natural patina.  
527 Support structures shall use natural, muted earth-tone colors including browns, black, grays,  
528 rusts, etc. White shall not be used as a predominant color, but may be used as an accent.

529 (b) *Display standards.* The display of all signs regulated by this Land Use Code shall conform to the  
530 standards of this section.

531 (1) *No obstruction permitted.* No sign shall obstruct a clear view to and from traffic along any street  
532 right-of-way, entrance or exit.

533 (2) *No projection within right-of-way.* No signs, except traffic signs and similar regulatory notices  
534 shall be allowed to project or be located within a public right-of-way.

535 (3) *Illumination.* An illuminated sign, as defined in Section 101-1-7, shall comply with the  
536 requirements of Chapter 108-16 and the following provisions, examples of which are graphically  
537 depicted in Section 110-2-15.

538 a. Unless otherwise specified in this subsection, all exterior lighting of a sign shall be  
539 downward directed from the top of the sign, and oriented so as to illuminate only the sign  
540 area, as defined in Section 101-1-7, excluding the supports.

541 b. No direct artificial light, as defined in Section 101-1-7, shall be projected from the sign area  
542 or beyond the sign area, including by means of diffusion or refraction through a translucent  
543 or transparent surface. However, direct artificial light, excluding diffused or refracted light,  
544 for a sign area that does not have a frame or separate background, as in the case of a logo  
545 or individual lettering mounted to a wall without a defined sign perimeter, may illuminate or  
546 reflect onto a background surface, such as a wall, beyond the exterior perimeter of the sign  
547 area, provided that:

- 548 1. It shall not exceed six inches beyond the sign area,
- 549 2. It shall be shielded so as not to project light onto any other surface.

550 d. Exterior lighting of a sign shall not exceed a ratio of 50 lumens per square foot of sign area.  
551 This ratio shall be calculated by combining the total lumen output of each artificial light  
552 source divided by the square footage of the sign area. See Section 110-2-15 for a graphic  
553 depiction.

554 e. The Land Use Authority may require the applicant to submit photometric schematics and  
555 attestation from a qualified professional that the submittal complies with this chapter.

556 (4) *Wall signs mounted on parapets.* A wall sign mounted on a parapet wall shall be mounted six  
557 inches or more below the top of the parapet wall.

558 (5) *No imitation of traffic signs.* Signs shall not resemble, imitate or approximate the shape, size,  
559 form or color of traffic signs, signals or devices. Signs shall not obstruct or interfere with the

Comment [c52]: Check reference

Comment [c53]: Measurable

Comment [c54]: Measurable.

Comment [c55]: Check reference



DRAFT 12/27/16

- 560 effectiveness of traffic signs, signals or devices, not be lighted in a way that can cause glare or  
561 impair driver visibility upon roads.
- 562 (6) *No prevention of ingress/egress.* Signs shall not be erected, relocated or maintained in such a  
563 way that prevents free ingress or egress from any door, window or fire escape, and no sign  
564 shall be attached to a standpipe or fire escape.
- 565 (7) *No mounting on natural features.* No signs shall be painted or mounted on trees. No land-form  
566 or naturally occurring land feature (rocks, cliff faces, etc.) shall be defaced for purposes of  
567 displaying a sign.
- 568 (8) *Clearance.* The clearance of a projecting, canopy or wall sign shall be measured from the  
569 lowest edge of the overhang eight feet to the driving or walking surface below.
- 570 (9) *Sign setbacks.*
- 571 a. *Monument and/or ground signs.* Any monument sign or ground sign shall be set back a  
572 minimum of ten feet from any property line. Signs fronting on state highways shall be set  
573 back ten feet from the right-of-way.
- 574 b. *Projections into public right-of-way.* Projections into the public right-of-way are not allowed,  
575 except for signs set by public agencies for safety purposes, such as the state department  
576 of transportation.
- 577 c. *Clear view triangle.* Signs shall not be placed within the clear view triangle as defined in  
578 title 108, chapter 7 of the Weber County Land Use Code.
- 579 (10) *Landscaping.* The ground area around the base of all ground/monument signs shall be  
580 landscaped in accordance with the requirements of applicable chapters of the Weber County  
581 Land Use Code. The planning commission may exempt some monument/ground signs from this  
582 standard where it is demonstrated, by the owner/developer, that the landscaping would unduly  
583 interfere with pedestrian or vehicular traffic, interfere with traffic visibility or for other reasons be  
584 impractical.
- 585 (11) *No street frontage.* When a freestanding building, complex or storefront does not face a public  
586 street or approved private road, and is accessed via a pedestrian area or common parking and  
587 driveway area, the linear footage of building or storefront facing the pedestrian area or common  
588 parking area shall substitute for purposes of determining allowable signage.
- 589 (12) *Sign area.* The area of a sign shall be measured as provided in the definition of "sign area" as  
590 provided in Section 101-1-7.
- 591 ...
- 592 **Sec. 110-2-15. – Examples of sign illumination.**

DRAFT 12/27/16



- Unacceptable color temperature.
- Fully shielded artificial light source. No visible direct artificial light.
- Light buffers no more than six inches around perimeter of sign area.



- Acceptable color temperature.
- Direct artificial light source projected by means of diffusion through translucent surface.
- Light buffers no more than six inches around perimeter of sign area.



- | Lumen per Square Foot Ratio  |  |
|--|--|
| 1650 Lumen Bulb<br>33 Square Feet of Sign Area                         | 50 Lumens per<br>Square Foot of<br>Sign Area |
| Total combined lumens less than or equal to 50 lumens per square foot. |  |
| Acceptable color temperature.  |  |
| Light only illuminates sign area.                                      |  |
| No visible direct artificial light.                                    |  |





2438 Washington Blvd.  
Ogden, UT 84401  
p: 1-801-778-6250  
www.visitogden.com

December 22, 2016

Ogden Valley Planning Commission,

The Dark Skies initiative has been such an incredible force to watch take shape in our community. The passion of those involved, coupled with the product we have to offer has led to a quick entry into the astro-tourism market.

Tourism in Weber County is an economic development engine that not only spurs visitation, but as such drives economic growth and provides economic impact. More than 1100 hotel rooms are booked each night and more than 9000 jobs are generated by travel spending in our community. In 2015, the direct annual travel spending in the county was \$244.3 million, which generated \$7.3 million in total tax revenue for Weber County. The revenues generated from tourism efforts translates to \$1300 in tax relief per household.

The economic impact generated by group business booked by Visit Ogden alone generated more than \$10 million in local economic impact. This does not take into account business that booked without our assistance, or the thousands of leisure travelers that come to take advantage of our trails, our history, our ski resorts, our downtown, or any of our numerous other amenities and attractions.

The promotion of our Dark Skies Park in North Fork continues to be a part of our strategic plan for 2017. As we find it increasingly necessary to diversify our product offerings to continue the growth and development of our tourism product, the Dark Skies Park has given us yet another avenue to promote our wondrous and beautiful landscape.

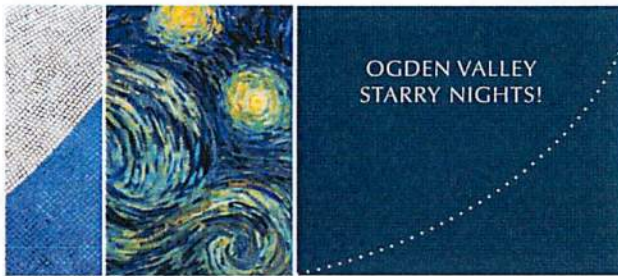
As the Utah Office of Tourism also continues to support and increasingly promote the dark skies opportunities in our state, we have received requests to host groups and media in the park. In February, we will be hosting journalists who have written for respected publications including Conde Nast, Outside, National Geographic, Women's Health, Robb Report, and Shape among others.

We understand and appreciate the delicate balance between government ordinance and property owners, but hope that you will encourage the residents of Ogden Valley to follow proper lighting techniques so we are able to keep our Dark Skies accreditation and provide another amazing opportunity for residents and visitors alike.

Sincerely,

A handwritten signature in black ink that reads "Sara Toliver". The signature is written in a cursive, flowing style.

Sara Toliver  
President/CEO



To: Ogden Valley Planning Commission

From: Janet Muir

Date: January 3, 2017

Re: Proposed Dark Sky Exterior Lighting Ordinance: Community Character and Private Property Rights

.....  
We would like to take this opportunity to add some perspective to the decision now before the Planning Commission and to have this document included in the meeting packet.

**General Plan Mandate From Residents.**

The Ogden Valley General Plan incorporates the residents' repeatedly voiced wish to retain rural community character through commonsense dark sky controls. See below for excerpts from the General Plan.

.....  
**Community Character**

**a. Gateways and Viewsheds**

Ogden Valley's natural setting provides opportunities for spectacular views of local agriculture, the mountains, Pineview Reservoir, and the stars in the night sky.

**b. Dark Sky Preservation**

Ogden Valley residents have expressed a strong desire to preserve their legacy dark skies. In 2000, dark-sky lighting and sign ordinances were passed, and in spring 2015, North Fork Park became the world's 21st International Dark Sky Park, constituting a northern anchor for the national parks in Utah that have also been accredited. Astrotourism (a natural companion to agritourism) is an accelerating trend that not only can support the local economy but also can honor Ogden Valley's rural heritage and distinct natural beauty.



- c. **Dark Sky Preservation Goal 1:** A goal of Weber County is to protect the night sky in order to preserve the Valley's rural character and heritage.

**Dark Sky Preservation Principle 1.1:** Encourage programs for residential and agricultural dark-sky-lighting compliance. Dark Sky Preservation Implementation 1.1.1: Review the current dark-sky lighting ordinance for consistency with dark-sky principle and current technology; identify possible updates. Consider amendments as necessary. Dark Sky Preservation Principle 1.2: Promote the accreditation of North Fork Park as the world's 21st International Dark Sky Park, and encourage astro-, agri-, and ecotourism development. Dark Sky Preservation Implementation 1.2.1: Evaluate current dark-sky sign ordinance for community character effectiveness and competitiveness with other Amenity West1 communities; identify possible updates.


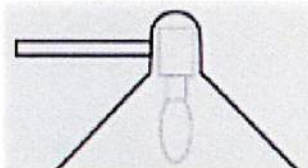
- d. **Commercial Development Principle 2.3:** Ensure that all signage in Ogden Valley is compatible with the context of the sign's location and the rural character of Valley. Commercial Development Implementation 2.3.1: Evaluate and revise the commercial sign standards for Ogden Valley **to promote dark sky lighting and** a consistent design theme that is compatible with the rural character of the Valley.

.....

### Dark Sky Lighting = Good Neighbor Lighting + Enhanced Security + Defense of Private Property Rights

The ad below has been run multiple times by Ogden Valley Starry Nights in the *Ogden Valley News* to aid in public education. The fact that it is residential lighting growth that most threatens the accreditation of North Fork Park makes an educational lead-in for residential coverage important.

Additionally, dark sky standards for multi- and single-family residences reinforces the private property rights aspect of dark skies. Why should my neighbor be able to light-trespass on my property - especially when shielding and motion detecting are such inexpensive and commonsense approaches?

| Good Neighbor Lighting   | Protects Dark Skies and Enhances Security  |
|--|--|
| <ul style="list-style-type: none"><li>Commit no light trespass.</li><li>Shield lights fully.</li><li>Direct downward.</li><li>Use timers and sensors.</li><li>Avoid landscape uplighting.</li><li>Place limits on string lighting.</li></ul> | <ul style="list-style-type: none"><li><input checked="" type="checkbox"/> Motion sensors alert residents to time and location of intrusion.</li><li><input checked="" type="checkbox"/> Shielded, downward-directed lights illuminate most effectively.</li><li><input checked="" type="checkbox"/> Standard floodlights produce glare that obscures unwanted activity.</li></ul> <p>For good neighbor, dark-sky, security-enhanced lighting see <a href="http://www.starrynightsutah.org">www.starrynightsutah.org</a>.</p> |
|   | <p>Fully Shielded Light Fixture</p>    |

Attachment 1

※

Tyler Nordgren: New Artwork for North Fork Park (December 2016)





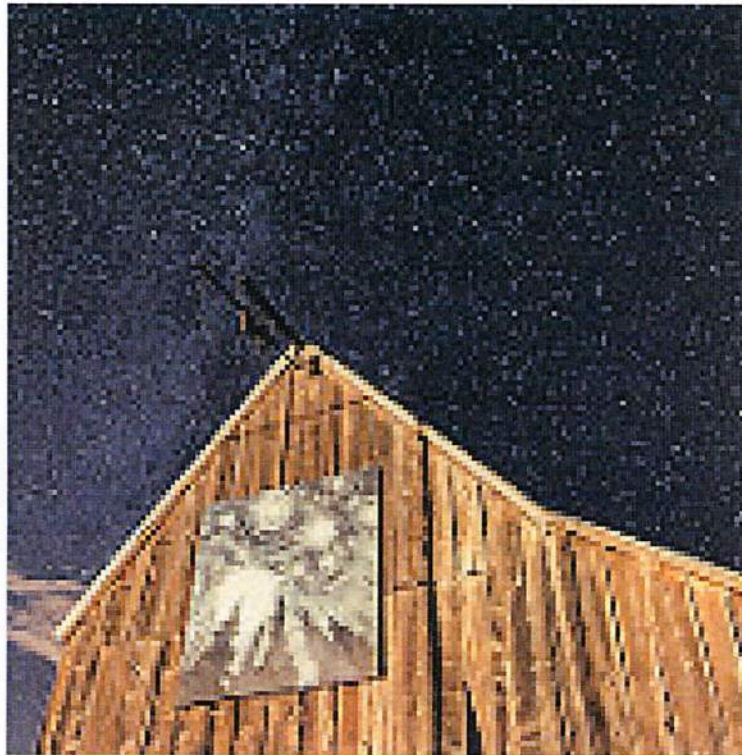
Attachment 2

※

Ogden Valley Dark Sky Mural Trail

Mural #1: Fuller Barn (across from Valley Elementary School)

Photo: Ron Gleason



### Attachment 3



## The Committee for Dark Sky Studies (in process to become formal academic center at the University of Utah)



#### Mission

.....  
The Committee for Dark Sky Studies (CDSS) is dedicated to the discovery, development, communication, and application of knowledge across a wide range of disciplines and professional fields pertaining to the quality of night skies, growing light pollution and the varied human, animal, and environmental responses to the "disappearing dark."  
.....

#### Location

The largest region of high quality dark skies in the developed world is that of the Interior West (Mountain States).<sup>1</sup> With vast tracts of public land and an unparalleled concentration of national parks and monuments, the area provides substantial night sky and environmental research opportunities, while providing significant astro-tourism dollars to its gateway communities and constituent states: Arizona, Colorado, Idaho, Montana, Nevada, New Mexico, Utah, and Wyoming.

#### Institutional Members

University of Utah (administrative base)  
Brigham Young University  
Dixie State University  
Salt Lake Community College  
Southern Utah University  
Utah State University  
Utah Valley University  
Weber State University  
Westminster College

#### Affiliate Members

Boise State University [Monica Hubbard, Assistant Professor, Department of Public Policy and Administration]  
Colorado Mesa University (Center for Natural Resources) [Tim Casey, Director]  
Northern Arizona University [Nadine Barlow, Professor, Department of Physics and Astronomy]  
Ohio Northern University [Bryan Boulanger, Chair and Associate Professor, Department of Civil and Environmental Engineering]  
Rensselaer Polytechnic Institute (Lighting Research Center) [Mark Rea, Director]  
University of Wyoming (Berry Biodiversity Conservation Center) [Carlos Martinez del Rio, Director]

---

<sup>1</sup> One of nine geographic divisions officially recognized by the U.S. Census Bureau



## Attachment 4

※

### Great Western Starry Way

#### GREAT WESTERN STARRY WAY ★ INTERNATIONAL DARK SKY PLACES

Montana  
Glacier National Park\*

Wyoming  
Yellowstone National Park\*  
Grand Teton National Park\*  
Devils Tower National Monument\*

Colorado  
Black Canyon of the Gunnison National Park  
Canyon of the Ancients National Monument\*  
Salinas Pueblo Mission National Monument

Idaho  
Craters of the Moon National Monument\*  
City of Ketchum Dark Sky Community\*

Nevada  
Great Basin National Park

Utah  
Capitol Reef National Park  
Canyonlands National Park  
Zion National Park\*  
Cedar Breaks National Monument\*  
Dinosaur National Monument\*  
Grand Staircase-Escalante National Monument\*  
Hovenweep National Monument  
Natural Bridges National Monument  
Timpanogos Cave National Monument\*  
Glen Canyon National Recreation Area\*  
State Parks  
Antelope Island State Park\*  
Coral Pink Sand Dunes State Park\*  
Dead Horse Point State Park

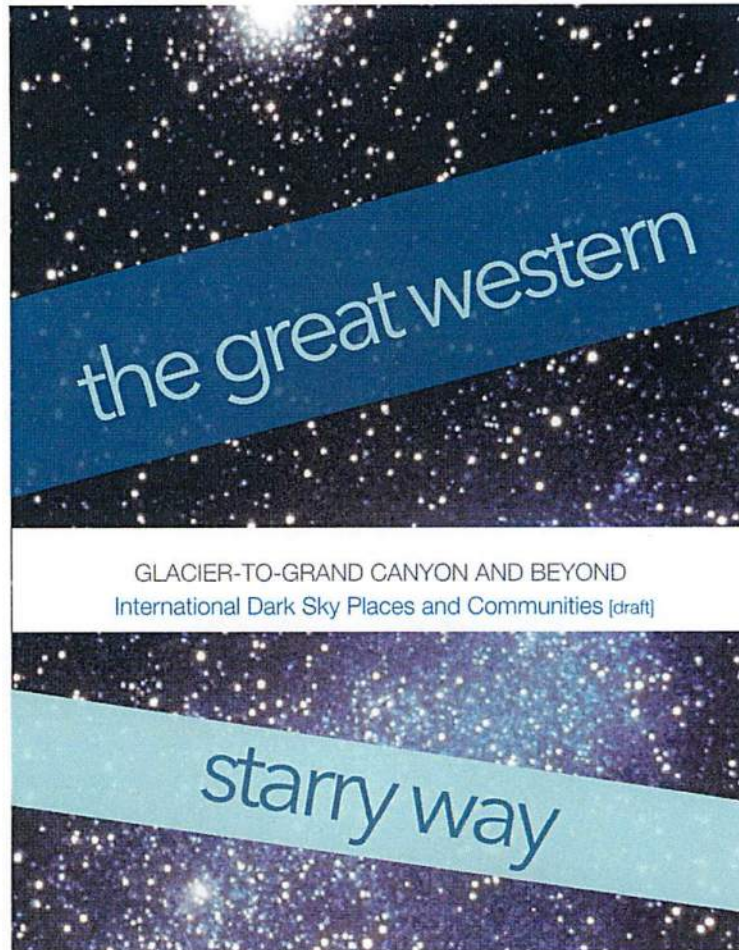
Utah (continued)  
Deer Creek State Park\*  
East Canyon State Park\*  
Fremont Indian State Park\*  
Goblin Valley State Park  
Gooseheads State Park\*  
Gunlock State Park\*  
Jordanelle State Park\*  
Red Fleet State Park\*  
Rockport State Park\*  
Steinaker State Park\*  
Quail Creek State Park\*  
County Park  
North Fork Park (Weber County)

Arizona  
Grand Canyon National Park (provisional)  
Grand Canyon-Parashant National Monument  
Kaibab Paiute Dark Sky Nation  
Pipe Organ Cactus National Monument  
Flagstaff Area National Monument  
Kartchner Caverns State Park  
Oracle State Park  
Red Rock State Park  
Big Park/Oak Creek Dark Sky Community  
Flagstaff Dark Sky Community  
Fountain Hills Dark Sky Community  
Sedona Dark Sky Community

New Mexico  
Capulin Volcano National Monument  
Chaco Canyon National Historical Park  
Cosmic Campground

\* in accreditation process International Dark-Sky Association





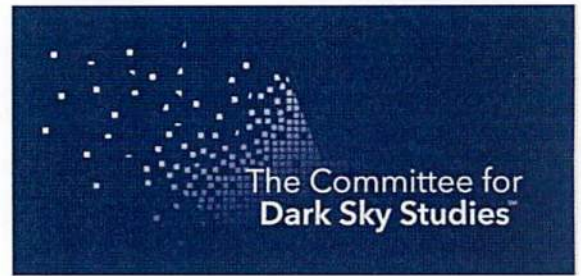
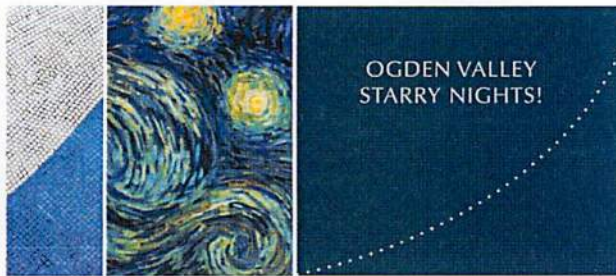


Attachment 5

※

Before and After





To: Charlie Ewart, Weber County Planning Division

From: Janet Muir

Date: December 26, 2016

Re: Dark Sky Momentum and Economic Development

.....

#### **Momentum.**

The issue of dark skies has exploded in the Interior West since the accreditation of North Fork Park (see new poster by astro-physicist/artist Tyler Nordgren in Attachment 1 - to be used in marketing the Park).

This time next year, from Glacier National Park to Grand Canyon National Park and farther south to the Mexican border, there will be **at least 50 International Dark Sky Parks** - the greatest concentration of certified dark skies *in the world*.

North Fork Park is **dead center** among what is now being called *The Great Western Starry Way* (see Attachment 2), a promotion to be discussed with the various state offices of tourism (Montana, Wyoming, Idaho, Utah, Colorado, Nevada, Arizona and New Mexico).

Many of these parks were assisted (or are now being assisted) in their accreditation efforts by Ogden Valley Starry Nights (nominator for Grand Staircase-Escalante NM, Cedar Breaks NM, Dinosaur NM, Craters of the Moon NM and most of the state parks) and, as part of the Committee for Dark Sky Studies (CDSS was founded as a direct result of North Fork Park's accreditation and is based at the University of Utah - see Attachment 3), for Grand Teton, Yellowstone, and Zion National Parks.

#### **Other Dark Sky Gateway Communities.**

We are also working, directly or indirectly, with a number of the gateway communities that are now adopting or strengthening dark sky ordinances: Springdale, Torrey, Kanab, Moab and Grand County, Bluff, Jackson (WY), Ketchum (ID), Page (AZ), among others.

Park City also has a dark sky ordinance. Municipal Code 15-5-1 provides:

It is also the intent of this section to encourage lighting practices and systems which will minimize light pollution, glare, and light trespass; conserve energy and resources while maintaining night time safety, utility, and security; and curtail the degradation of the night time visual environment. It is recognized that the topography, atmospheric conditions and resort



nature of Park City are unique and valuable to the community. The enjoyment of a starry night is an experience the community desires to preserve. The City of Park City, through the provisions herein contained, promotes the reduction of light pollution that interferes with enjoyment of the night sky.

### **Competition.**

Ogden Valley competes with all of the above communities for tourism and, more specifically, with the gateway ski resort ordinance leaders: Sun Valley City, Ketchum, Aspen, Vail, Telluride, Mammoth etc.

Ogden Valley is no longer in the dark sky forefront (except in dark sky public art where it is setting the pace with the dark sky mural trail) and must up its game to remain competitive.

### **Economic Development.**

Through the Utah Office of Tourism, we have been asked to support Brian Head Resort and Stein Ericksen Lodge (Deer Valley) in their dark sky promotions.

Additionally, Headlands, the only other dark sky county park (Northern Michigan) has experienced such an "economic boom" that the state added another 50 miles of Lake Michigan shoreline as a Dark Sky Coast [<http://www.midarkskypark.org/dark-sky-coast/>]

"As a part of the economic boom that the Dark Sky Park is creating, we can create an entire dark sky coast and have a number of viewing opportunities," said Tom Bailey, Little Traverse Conservancy director, last week during a meeting with county officials. "There are great opportunities to interpret native mythology and star lore here ... I can tell you as having been involved with the park service nationally and at the state level, there is a tremendous opportunity for interpretation here, there is a tremendous opportunity for visitation and tourism, and we are already seeing it." [[http://articles.petoskeynews.com/2012-01-27/international-dark-sky-park\\_30672357](http://articles.petoskeynews.com/2012-01-27/international-dark-sky-park_30672357)] (see Attachment 4)

A report commissioned by the NPS's Colorado Plateau Dark Sky Cooperative that was researched by Missouri State University economists found the the dark skies there would generate, over a ten year period, approximately \$2.5 billion in incremental revenue and over 50,000 incremental jobs. [see Attachment 5 for summary].

A major factor for the dollar impact of dark sky tourism is that, in most case, *an overnight stay and at least one meal* are required; simple "drive-through" tourism is generally not possible.

**Estimating the Potential Economic Value  
of the  
Night Skies  
Above the Colorado Plateau**

by

Dr. David Mitchell and Dr. Terrel Galloway

Department of Economics  
Missouri State University  
Springfield, MO

**Anecdotal Evidence of Dark Sky Tourism and North Fork Park.**

Two of several recent emails received (another concerned a family reunion in North Fork Park with folks coming from Kentucky and several other states):

1. I am Miho Komura with JAMCA GLOBAL SERVICE, INC., the travel agency in Los Angeles. I found your contact through Dark Sky website.

My group would like to do astronomical observation at Weber County North Park and I have some questions.

Weber County North Park

Date: August 22, 2017

Time: at night / 1~2-hours

Count: 40-people

They will come to this place by large coach, after the bus arrived at parking space, how long should they walk to the observation point?

Is there enough space for 40 people?

Do you know if there is any event or any big group coming on Aug.22?

Are you able to be onsite and help them?

If there is any coordination fee, please let me know.

Thank you very much!

Miho Komura

2. Received by Jennifer Graham from Sydnie Furton Visit Ogden

I hope that this week is treating you well! I am working on a FAM with the Utah Office of Tourism showcasing night life in Utah. This "night owls" FAM trip will be visiting Ogden February 23-24. The UOT's big pitch was that Utah has the most IDSA-certified dark sky park's in the nation, and the only dark sky designation they are planning to visit on this trip will be North Fork Park.



Could you help me arrange a night time snowshoe tour for the group of journalists that are visiting for the night of February 23<sup>rd</sup>? Or do you know who the best person is for me to contact regarding this FAM? The group would be 9 individuals (5 national media, 1 local media, rep from UOT, rep from Turner PR and myself) I would like to ask that the snowshoe rentals would be comped for the group. Also, would there be an option to have a fire and smores after the tour, or in the middle of the tour?

This is the itinerary that we have in mind for this group while they are in Ogden.

Feb. 23: Arrivals

Afternoon: head to Ogden

Check in at Hotel

2 p.m. Fat Bike lessons at Powder Mountain

Stroll Historic 25th Street

6 p.m. Dinner at Tona sushi

8 p.m. Snowshoe to North Fork Dark Sky Park - bring Dark Sky Ranger

Overnight in Ogden

Feb. 24:

10 a.m. Breakfast in Ogden

11 a.m. Head to Ski City (1 hour)

Here are the journalists who have expressed interest:

Confirmed Interest & Availability

Danielle Page (Glamour, AskMen, Women's Health, Bustle, Greatist, Paste Magazine, Everup) awaiting media form

Ali Finney (Women's Health)

Macaela McKenzie (Condé Nast, Shape Magazine, Greatist) have media form

Janice O'Leary (Robb Report) awaiting media form

Other Target Media

Katherine LaGrave (CNT, Outside, Nat Geo, Vanity Fair, New York Times)

Stacie Stukin (New York Times, Los Angeles Times, Yoga Journal, Time, Elle Decor, Glamour, Self, Marie Claire)

Keith Flanagan (Condé Nast Traveler, USA Today, AFAR, Food Republic, Robb Report, Paste Magazine, Departures Magazine, amNewYork, Kinfolk, Town & Country)

Thank you for your help!

Best,

Sydney Furton

Marketing & Public Relations Manager

[VisitOgden.com](http://VisitOgden.com)

Attachment 1

※

Tyler Nordgren Artwork for North Fork Park (Dec 2016)





## Attachment 2

※

### Great Western Starry Way

#### GREAT WESTERN STARRY WAY ★ INTERNATIONAL DARK SKY PLACES

##### Montana

Glacier National Park\*

##### Wyoming

Yellowstone National Park\*  
Grand Teton National Park\*  
Devils Tower National Monument\*

##### Colorado

Black Canyon of the Gunnison National Park  
Canyon of the Ancients National Monument\*  
Salinas Pueblo Mission National Monument

##### Idaho

Craters of the Moon National Monument\*  
City of Ketchum Dark Sky Community\*

##### Nevada

Great Basin National Park

##### Utah

Capitol Reef National Park  
Canyonlands National Park  
Zion National Park\*  
Cedar Breaks National Monument\*  
Dinosaur National Monument\*  
Grand Staircase-Escalante National Monument\*  
Hovenweep National Monument  
Natural Bridges National Monument  
Timpanogos Cave National Monument\*  
Glen Canyon National Recreation Area\*  
State Parks  
Antelope Island State Park\*  
Coral Pink Sand Dunes State Park\*  
Dead Horse Point State Park

##### Utah (continued)

Deer Creek State Park\*  
East Canyon State Park\*  
Fremont Indian State Park\*  
Goblin Valley State Park  
Gooseheads State Park\*  
Gunlock State Park\*  
Jordanelle State Park\*  
Red Fleet State Park\*  
Rockport State Park\*  
Steinaker State Park\*  
Quail Creek State Park\*  
County Park  
North Fork Park (Weber County)

##### Arizona

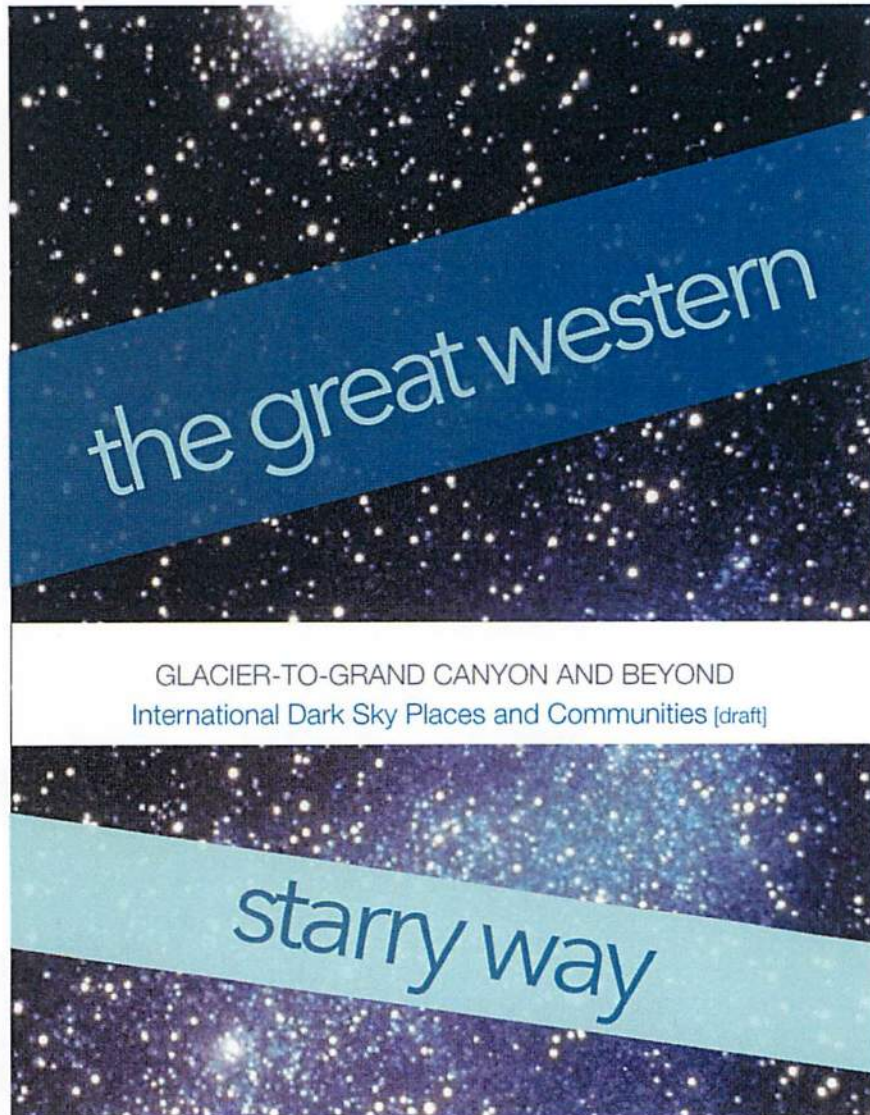
Grand Canyon National Park (provisional)  
Grand Canyon-Parashant National Monument  
Kaibab Paiute Dark Sky Nation  
Pipe Organ Cactus National Monument  
Flagstaff Area National Monument  
Kartchner Caverns State Park  
Oracle State Park  
Red Rock State Park  
Big Park/Oak Creek Dark Sky Community  
Flagstaff Dark Sky Community  
Fountain Hills Dark Sky Community  
Sedona Dark Sky Community

##### New Mexico

Capulin Volcano National Monument  
Chaco Canyon National Historical Park  
Cosmic Campground

\* in accreditation process International Dark-Sky Association







### Attachment 3

※

## The Committee for Dark Sky Studies

In process to become formal academic center at the University of Utah  
and formed as a direct result of the accreditation of North Fork Park



#### Mission

.....  
The Committee for Dark Sky Studies (CDSS) is dedicated to the discovery, development, communication, and application of knowledge across a wide range of disciplines and professional fields pertaining to the quality of night skies, growing light pollution and the varied human, animal, and environmental responses to the "disappearing dark."  
.....

#### Location

The largest region of high quality dark skies in the developed world is that of the Interior West (Mountain States).<sup>1</sup> With vast tracts of public land and an unparalleled concentration of national parks and monuments, the area provides substantial night sky and environmental research opportunities, while providing significant astro-tourism dollars to its gateway communities and constituent states: Arizona, Colorado, Idaho, Montana, Nevada, New Mexico, Utah, and Wyoming.

#### Institutional Members

University of Utah (administrative base)  
Brigham Young University  
Dixie State University  
Salt Lake Community College  
Southern Utah University  
Utah State University  
Utah Valley University  
Weber State University  
Westminster College

#### Affiliate Members

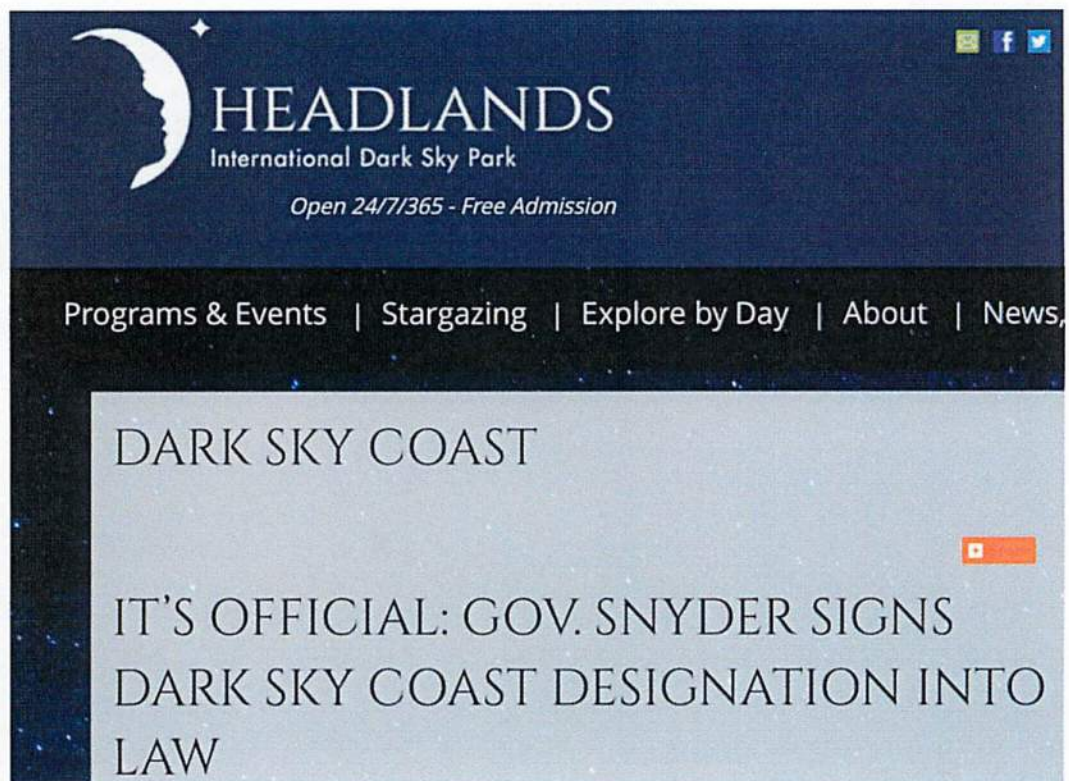
Boise State University [Monica Hubbard, Assistant Professor, Department of Public Policy and Administration]  
Colorado Mesa University (Center for Natural Resources) [Tim Casey, Director]  
Northern Arizona University [Nadine Barlow, Professor, Department of Physics and Astronomy]  
Ohio Northern University [Bryan Boulanger, Chair and Associate Professor, Department of Civil and Environmental Engineering]  
Rensselaer Polytechnic Institute (Lighting Research Center) [Mark Rea, Director]  
University of Wyoming (Berry Biodiversity Conservation Center) [Carlos Martínez del Río, Director]

<sup>1</sup> One of nine geographic divisions officially recognized by the U.S. Census Bureau

Attachment 4

※

The Headlands (the only other county park with International Dark Sky Park accreditation) has been so successful in generating visitor dollars, the State of Michigan designated 50 miles of Lake Michigan shoreline as a "Dark Sky Coast"





Attachment 5

※

Missouri State University: *Economic Impact of the Night Skies Above the Colorado Plateau*  
(Mitchell and Gallaway, 2016)  
Selected Sections Summary

- In the late 2000s, 65% of visitors to Colorado Plateau parks believed that dark skies were “important” or “very important” to their visit. (page 21)
- “The effect of dark skies on the state economies [in the Colorado Plateau] is quite large. Over the next 10 years, visitors will spend nearly \$2.5 Billion visiting NPS parks in the Dark Sky Cooperative trying to see a dark sky at night... This additional \$2.45 billion in spending creates \$1.68 billion in additional value added for the local state economies. The total effect of all of this additional spending is to create an additional 52,257 jobs that increase wages in the states by over \$1,094 million dollars.” (page 22)
- “The dark skies of the Colorado Plateau can be used, and promoted, as a magnet for tourism. Crucially, from an economic standpoint, the single most important thing about dark-sky tourism is that it necessitates one or more overnight stays. The NPS estimates that the average spending per party per day is about \$90 for non-local day trips. For parties staying overnight at an NPS lodge, this spending rises to over \$390, for those staying in motels outside the park, the amount is a little over \$270. In other words, inducing visitors to stay overnight can increase spending several fold.” (page 27)
- “We would expect the economic impact of those who rate the night sky as important or very important but who stay overnight outside the park to dwarf the \$2.45 billion figure above and increase the total manifold. Importantly, these figures also do not include the impact of visitors to Forest Service or Bureau of Land Management lands.” (page 35)
- “The reported figures assume simply the continuation of existing trends, with no increase in efforts to promote night sky tourism... This presents the local communities and the parks in the Colorado Plateau with a unique opportunity for partnership.” (page 35)



## OGDEN VALLEY PLANNING COMMISSION 2017 SCHEDULE OF MEETINGS

*The meetings are held in the County Commission Chambers, 1<sup>st</sup> Floor, in the Weber Center, 2380 Washington Blvd., Ogden, Utah unless otherwise posted.*

The Ogden Valley Planning Commission holds their regular meetings on the fourth Tuesday of each month unless otherwise noted.

Work Session meetings are held on the first Tuesday of each month unless otherwise noted.

Pre-meetings will begin at 4:30 p.m. in the Weber County Commission Break-Out Room  
Regular meetings will begin at 5:00 p.m.

No Pre-meetings. Work Sessions will begin at 5:00 p.m. unless otherwise posted

### Regular Meetings

January 24, 2017  
February 28, 2017  
March 28, 2017  
April 25, 2017  
May 23, 2017  
June 27, 2017  
July 25, 2017  
August 22, 2017  
September 26, 2017  
October 24, 2017  
November 28, 2017  
December 05, 2017

### Work Sessions

January 03, 2017  
February 07, 2017  
March 07, 2017  
April 04, 2017  
May 02, 2017  
June 06, 2017  
August 01, 2017  
September 05, 2017  
October 03, 2017